

For Office Use:	Date		Date
Application given by _____	_____	Referred to Plan Comm/Board	_____
Received by Zoning Administrator _____	_____	Public Hearing Set	_____
Fee received by Clerk _____	_____	Date Notices Mailed	_____
Zoning Certified _____	_____	Public Hearing Published	_____
Filed with Clerk _____	_____	Public Hearing Held	_____
Referred for Staff Review _____	_____	Final Action	_____

Village of Shorewood Hills
 810 Shorewood Boulevard
 Madison, WI 53705-2115
 (608) 267-2680 phone
 (608) 267-5929 fax

APPLICATION FOR CONDITIONAL USE PERMIT
 (A non-refundable \$350 fee must accompany this application upon filing)

FOR OFFICE USE ONLY

Receipt # _____

Date of Petition: June 22, 2016

The undersigned, being all the owners of the real property covered by this conditional use request hereby petition the Village of Shorewood Hills as follows:

1. Name and address of each owner: (Please attach additional pages as necessary)
Cary L Shlimovitz, 3630 Lake Mendota Drive, Madison, WI 53705
Aviva T Shlimovitz, 3630 Lake Mendota Drive, Madison, WI 53705

2. Name and address of applicant if not an owner. Describe interest in site (if tenancy, attach copy of current lease): _____

3. Address of site: 3630 Lake Mendota Drive, Madison, WI 53705
4. Tax parcel number of site: 0709-173-0182-1
5. Accurate legal description of site (state lot, block and recorded subdivision or metes and bounds description) (Attach copy of owner's deed): _____
Shorewood Addition, Block 2, Lot 12
See deed attached

6. Present zoning classification: G1 Residential
7. Requested conditional use: Zoning code Section 10-1-26 Single Family Residence District, (g) Conditional Use, (1) subsection a. Any development in area between Lake Mendota and lakefront setback line - new deck addition aligns with the setback line; subsection b. Any new roof more than 30 feet above ground surface - new addition roof heights vary as described in Special Exception Permit application; subsection d. Any new structure - new addition at rear of property.
8. Brief description of each structure presently existing on site: Existing house is 3,038 SF with two stories and full basement. Height of existing house varies between 32'-6" to 33'-10" above grade at double gable roofs. Existing attached garage is 320 SF. Height of existing garage is 19'-8" above grade to gable roof.

9. Brief description of present use of site and each structure on site: Site and structure is currently used as a primary residence by current owners.
-
10. Brief description of any proposed change in use of structures if request for conditional use is granted (include change in number of employees on site): There will be no change in the use of the structures as the addition will just add additional space to the current primary residence.
-
11. The following arrangements have been made for serving the site with municipal sewer and water: The addition will tie in to the existing municipal sewer and water currently serving the residence.
-
12. Name, address, and tax parcel number of the owners of each parcel immediately adjacent to the boundaries of the site and each parcel within 200 feet including street and alley right-of-way of each exterior boundary of the site: 3636 Lake Mendota Drive, parcel # 0709-173-0160-7, Frank and Dawn Hastings; 3626 Lake Mendota Drive, parcel # 0709-173-0193-8, Stephen Rhody and Leonora Neville; 3620 Lake Mendota Drive, parcel # 0709-173-0204-4, Eric and Sharon Hovde; 3644 Lake Mendota Drive, parcel # 0709-173-0149-2, Lawrence and Jean Landweber.
-
13. A scale map or survey map must be attached showing the following:
- Location, boundaries, dimensions, uses, and size of the site and structures and its relationship to adjoining lands.
 - The approximate location of existing structures on the site, easements, streets, alleys, off street parking, loading areas and driveways, highway access and access restrictions, existing street, side and rear yards, proposed surface drainage, grade elevations.
14. State in detail, the evidence indicating proof that the proposed conditional use shall conform to each of the standards for conditional uses set forth in section 10-1-108 of the Village Zoning Code. Section 10-1-108, Development Plan Requirements: The site survey submitted for review for conditional use provides the information requested in sections (a) thru (s) where it applies to the addition to the primary residence. There will be no signage, existing lighting will remain, existing driveway/parking will remain unchanged. The elevations identify the exterior materials, heights, and colors of existing and proposed addition as requested in subsection (f).

WHEREFORE, the undersigned property owners hereby state that the foregoing information and all attachments to this Petition are true and correct to the best of our knowledge.

Dated this 22 day of June, 2016.

Property Owner

Property owner

I certify that that I have reviewed this application for completeness.

Date: _____ Zoning Administrator: _____

For Office Use:	Date		Date
Application given by _____	_____	Referred to Plan Comm/Board	_____
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Village of Shorewood Hills
 810 Shorewood Boulevard
 Madison, WI 53705-2115
 (608) 267-2680 phone
 (608) 267-5929 fax

APPLICATION FOR SPECIAL EXCEPTION PERMIT
 (A non-refundable \$350 fee must accompany this application upon filing)

FOR OFFICE USE ONLY
Receipt # _____

Date of Petition: June 22, 2016

The undersigned, being all the owners of the real property covered by this special exception request hereby petition the Village of Shorewood Hills as follows:

- Name and address of each owner: (Please attach additional pages as necessary)
Cary L Shlimovitz, 3630 Lake Mendota Drive, Madison, WI 53705
Aviva T Shlimovitz, 3630 Lake Mendota Drive, Madison, WI 53705

- Name and address of applicant if not an owner. Describe interest in site (if tenancy, attach copy of current lease): _____

- Address of site: 3630 Lake Mendota Drive, Madison, WI 53705

- Tax parcel number of site: 0709-173-0182-1

- Accurate legal description of site (state lot, block and recorded subdivision or metes and bounds description) (Attach copy of owner's deed): _____
Shorewood Addition, Block 2, Lot 12
See deed attached

- Requested special exception: Zoning Code Section 10-1-110, Residential Floor Area and Height Limitations, Section d. Code section (2) requires maximum height of 30'-0" above grade for gable roof pitch below 12:12. Special exception request for new gable roof at addition with roof pitch of 10:12 is 33'-2" above grade on west side and 31'-7" on east side. Code section (3) requires max. height of 22'-0" for shed. Special exception request for new shed roof which is 24'-1" above grade.

- Name, address, and tax parcel number of the owners of each parcel immediately adjacent to the boundaries of the site and each parcel within 200 feet including street and alley right-of-way of each exterior boundary of the site: 3636 Lake Mendota Drive, parcel # 0709-173-0160-7, Frank and Dawn Hastings; 3626 Lake Mendota Drive, parcel # 0709-173-0193-8, Stephen Rhody and Leonora Neville; 3620 Lake Mendota Drive, parcel # 0709-173-0204-4, Eric and Sharon Hovde; 3644 Lake Mendota Drive, parcel # 0709-173-0149-2, Lawrence and Jean Landweber

8. A scale map or survey map must be attached showing the following:
- a. Location, boundaries, dimensions, uses, and size of the site and structures and its relationship to adjoining lands.
 - b. The approximate location of existing and proposed structures on the site, easements, streets, alleys, off street parking, loading areas and driveways, street access and access restrictions, existing street, side and rear yards, existing and proposed surface drainage, grade elevations, building heights, and square footage existing and proposed.

9. State in detail, the evidence indicating proof that the proposed special exception shall conform to each of the standards for conditional uses set forth in section 10-1-52 of the Village Zoning Code. The applicant shall respond to each of the standards.

A special exception shall not be granted unless the applicant demonstrates that the building or buildings on the lot that exceed the floor area ratio will meet the conditions set forth in Sec. 10-1-52 of this Code. For purposes of this section references to "use" or "conditional use" in Sec. 10-1-52 shall be deemed to be references to the building or buildings for which a special exception is requested. In addition, the applicant shall demonstrate compliance with the following additional conditions:

- (1) The uses, values, views, vistas and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or be diminished by the special exception.
- (2) The special exception will not substantially impair an adequate supply of light and air to adjacent property, or increase the danger of fire within the neighborhood.
- (3) The special exception will not substantially increase erosion;
- (4) The special exception will not substantially cause the flow of surface water to be changed so as to adversely affect other lots or the natural environment.
- (5) The special exception will not substantially adversely affect infiltration of surface water into the ground.
- (6) The special exception will not substantially adversely affect access to property or structures by fire fighters and other emergency personnel.

WHEREFORE, the undersigned property owners hereby state that the foregoing information and all attachments to this Petition are true and correct to the best of our knowledge.

Dated this 22 day of June, 2016.

_____ Property Owner

_____ Property owner

I certify that that I have reviewed this application for completeness.

Date: _____ Zoning Administrator: _____

Print Form



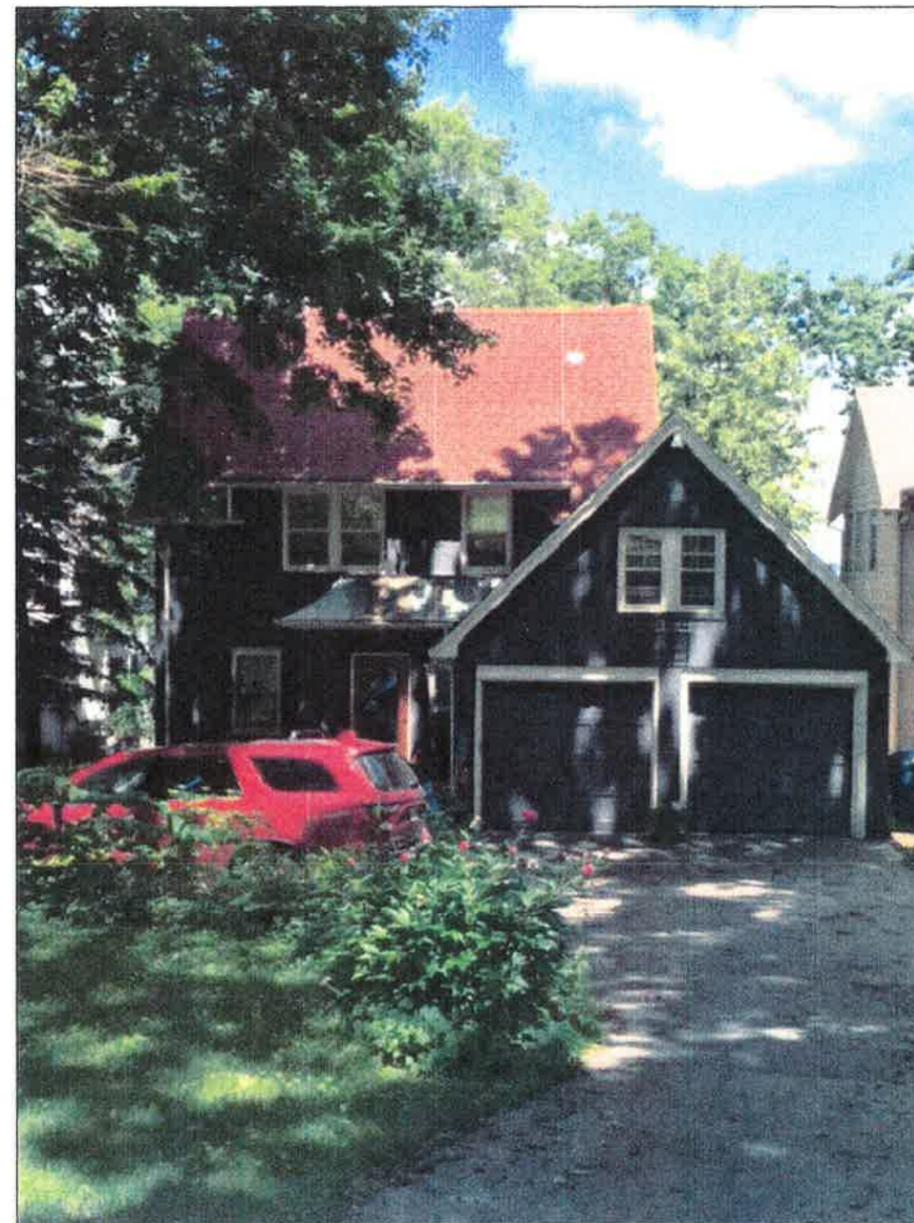
SHLIMOVITZ RESIDENCE



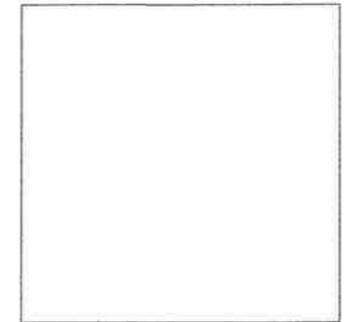
EXISTING HOUSE FACING LAKE SIDE



REAR YARD AND NEIGHBOR TO WEST



EXISTING HOUSE FACING LAKE MENDOTA DRIVE



REVISIONS:

PROJECT:

**SHLIMOVITZ
RESIDENCE**

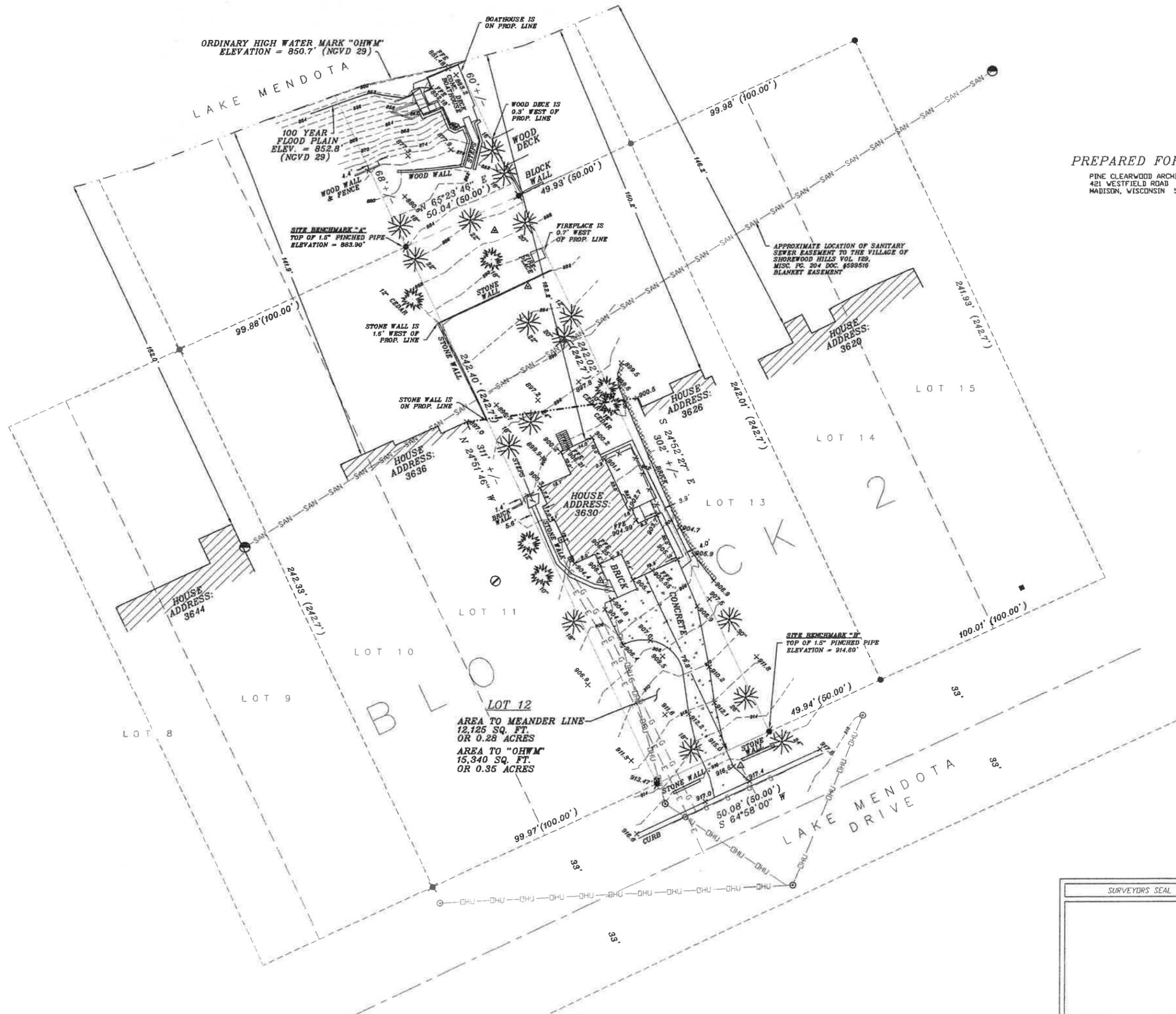
3630 LAKE MENDOTA DRIVE
VILLAGE OF SHOREWOOD HILLS
MADISON, WI

DATE:	07.13.16
SCALE:	AS NOTED
PROJECT NO.:	SHLI 16

SHEET:

T.1

TITLE SHEET



ORDINARY HIGH WATER MARK "OHWM"
ELEVATION = 850.7' (NGVD 29)

LAKE MENDOTA

100 YEAR FLOOD PLAIN
ELEV. = 852.8
(NGVD 29)

SITE BENCHMARK "A"
TOP OF 1.5" PINCHED PIPE
ELEVATION = 883.90'

STONE WALL IS
1.6' WEST OF
PROP. LINE

STONE WALL IS
ON PROP. LINE

HOUSE
ADDRESS:
3644

HOUSE
ADDRESS:
3636

HOUSE
ADDRESS:
3630

HOUSE
ADDRESS:
3626

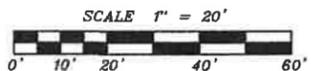
HOUSE
ADDRESS:
3620

LOT 12
AREA TO MEANDER LINE
12,125 SQ. FT.
OR 0.28 ACRES
AREA TO "OHWM"
15,340 SQ. FT.
OR 0.35 ACRES

SITE BENCHMARK "B"
TOP OF 1.5" PINCHED PIPE
ELEVATION = 914.80'

LAKE MENDOTA DRIVE

PREPARED FOR:
PINE CLEARWOOD ARCHITECTS
421 WESTFIELD ROAD
MADISON, WISCONSIN 53717



LEGEND

- = FOUND 3/4" PIPE
- ✱ = FOUND 1" PIPE
- = FOUND 3/4" REBAR
- ⊕ = FOUND 1 1/2" PINCHED PIPE
- (#) = RECORDED AS
- ⊠ = GAS METER
- ⊙ = STORM INLET/ GRATE INLET
- = FINISH FLOOR ELEVATION
- ⊙ = SANITARY SEWER MANHOLE
- △ = WATER VALVE
- ⊙ = UTILITY POLE
- ⊠ = UTILITY PEDESTAL
- ⊠ = ELECTRIC METER
- △ = GROUND LIGHT
- ✱ = DECIDUOUS TREE (SIZE NOTED)
- ✱ = CONIFEROUS TREE (SIZE NOTED)

LINE LEGEND

- SAN— = SANITARY SEWER
- W— = WATER MAIN
- CUM— = UNDERGROUND COMMUNICATIONS LINE
- E— = UNDERGROUND ELECTRIC
- G— = UNDERGROUND GAS MAIN
- X— = FENCE

DESCRIPTION:

Lot 12, Block 2, Plat of Shorewood, Village of Shorewood Hills, Dane County, Wisconsin.

NOTES:

- 1) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR BUILDINGS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3) ALL ELEVATIONS ARE REFERENCED TO NGVD 29 DATUM.
- 4) ALL UTILITIES SHOWN ON THIS SURVEY WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY OTHERS, EXCEPT WHERE SHOWN OR OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. IT IS THE RESPONSIBILITY OF THE OWNERS/CONTRACTORS TO CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION OR EXCAVATING IS DONE. 1-800-242-8511 DIGGERS HOTLINE TICKET #2016-241-0961

SURVEYOR'S CERTIFICATE:

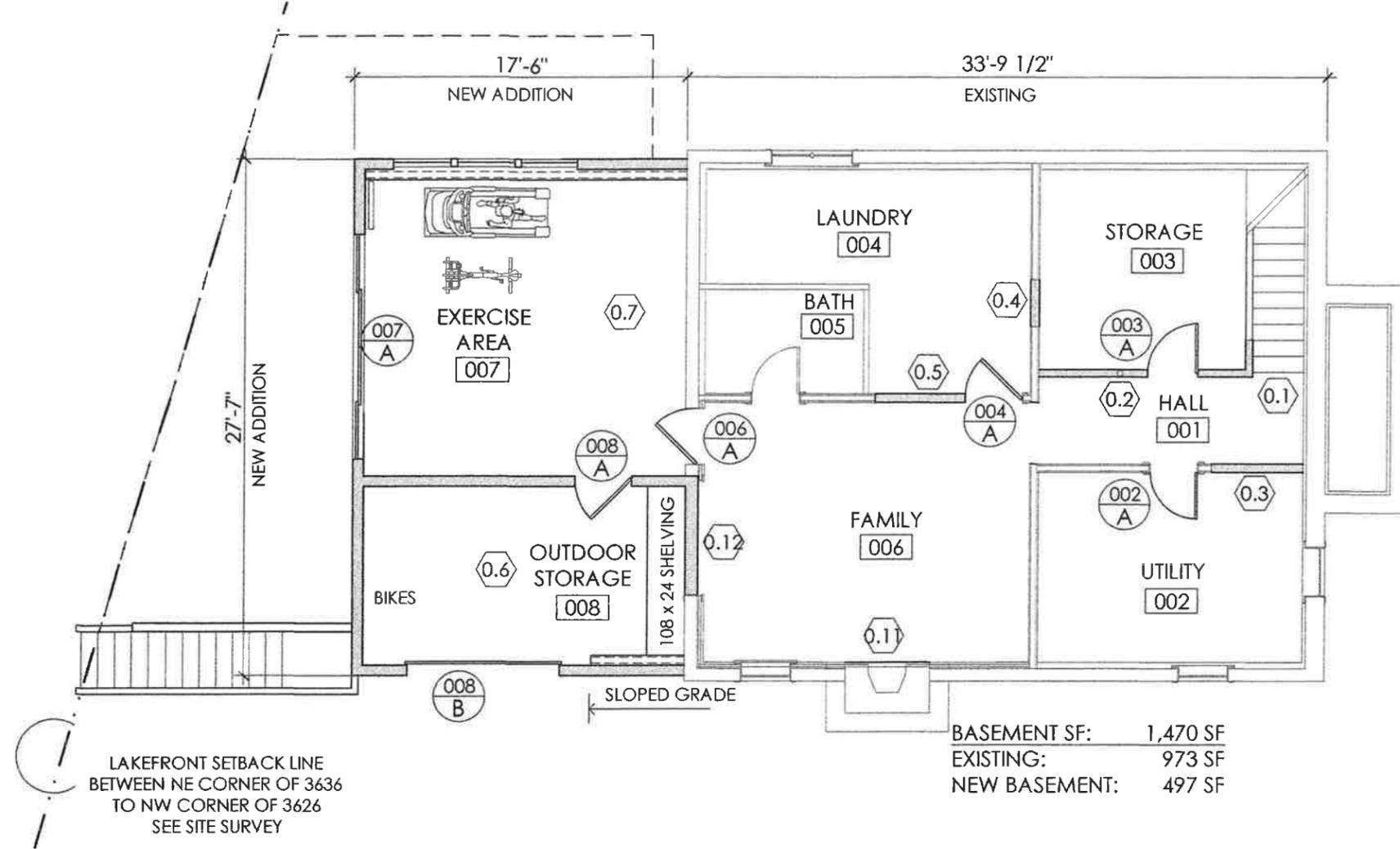
This plat and survey were performed under my supervision, and was surveyed, divided, and mapped according to the official records of the property described and pictured hereon. This plat is a true scaled and dimensioned representation of the boundaries, buildings, improvements and all visible encroachments if any.

Williamson Surveying and Associates, LLC
by Noa T. Prieve & Chris W. Adams

Date _____

Noa T. Prieve S-2499
Professional Land Surveyor

SURVEYORS SEAL		WILLIAMSON SURVEYING & ASSOCIATES, LLC 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597. NOA T. PRIEVE & CHRIS W. ADAMS PROFESSIONAL LAND SURVEYORS PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM	
TOPOGRAPHIC MAP/PLAT OF SURVEY Lot 12, Block 2, Plat of Shorewood, Village of Shorewood Hills, Dane County, Wisconsin.			
DATE	JUNE 16, 2016	REVISION DATE:	
SCALE:	1" = 20'	CHECK BY	N.T.P.
DRAWN BY	BRAD ROZEMA	DRAWING NO.	16V-196
		SHEET	1 OF 1



- FLOOR PLAN LEGEND:**
- 1/2" GWB on 2 x 4 wd. stud interior
2 x 6 wd. stud exterior
 - EXISTING TO REMAIN
 - DOOR SCHEDULE KEY
 - PLAN KEY NOTE
 - INTERIOR ELEVATION REFERENCE
Drawing number/Sheet number
 - DIMENSION LINE
Hatch line refers to interior finished face (4 1/2" thk unless noted otherwise, typical)
dot refers to centerline.

LAKEFRONT SETBACK LINE
 BETWEEN NE CORNER OF 3636
 TO NW CORNER OF 3626
 SEE SITE SURVEY

BASEMENT SF:	1,470 SF
EXISTING:	973 SF
NEW BASEMENT:	497 SF

<u>BASEMENT PERIMETER</u>	
TOTAL:	180'-3"
EXPOSED:	50'-6"
28% 1,470 SF:	441 SF

SQUARE FOOTAGE CALCULATIONS

TOTAL ALLOWABLE:	3,784 SF
(10% OF LOT @ 15,340 SF + 2,250 SF)	
BASEMENT FLOOR:	411 SF
(28% FULL EXPOSURE OF 1,470 SF)	
SF FIRST FLOOR:	1,487 SF
SF SECOND FLOOR:	1,572 SF
TOTAL SF:	3,470 SF

1 BASEMENT FLOOR PLAN
 1/8"=1'-0"

BASEMENT FLOOR KEYNOTES

- REMOVE LANDING AND LAST TWO TREADS. REWORK STAIR TO CONTINUE STRAIGHT AND WORK WITH LOCATION OF NEW HALLWAY.
- REMOVE WALL AND RELOCATE IN LINE WITH COLUMN TO CREATE LARGER STORAGE ROOM.
- REMOVE "BUMP OUT" WALL TO PROVIDE SPACE FOR REWORKED STAIR TREADS AND HALLWAY. NOTE NEW DOOR SWING.
- REMOVE DOOR AND FRAME, PROVIDE WALL INFILL ALIGN FLUSH W/ADJ. SURFACE.
- REMOVE CLOSET AND DOORS. PROVIDE NEW WALL AND DOOR FOR LARGER LAUNDRY ROOM.
- NEW STORAGE ROOM IN ADDITION. PROVIDE SEALED CONCRETE FLOORS W/INSULATION ABOVE, GYP. BD CEILING.
- NEW EXERCISE AREA IN ADDITION. PROVIDE CORK FLOORING AND BEVERAGE CENTER W/PAINTED CABINETS AND GRANITE REMNANT COUNTERTOP. PROVIDE BEVERAGE SINK W/TIE IN TO EXIST. BATH.
- NOT USED

BASEMENT FLOOR KEYNOTES continued

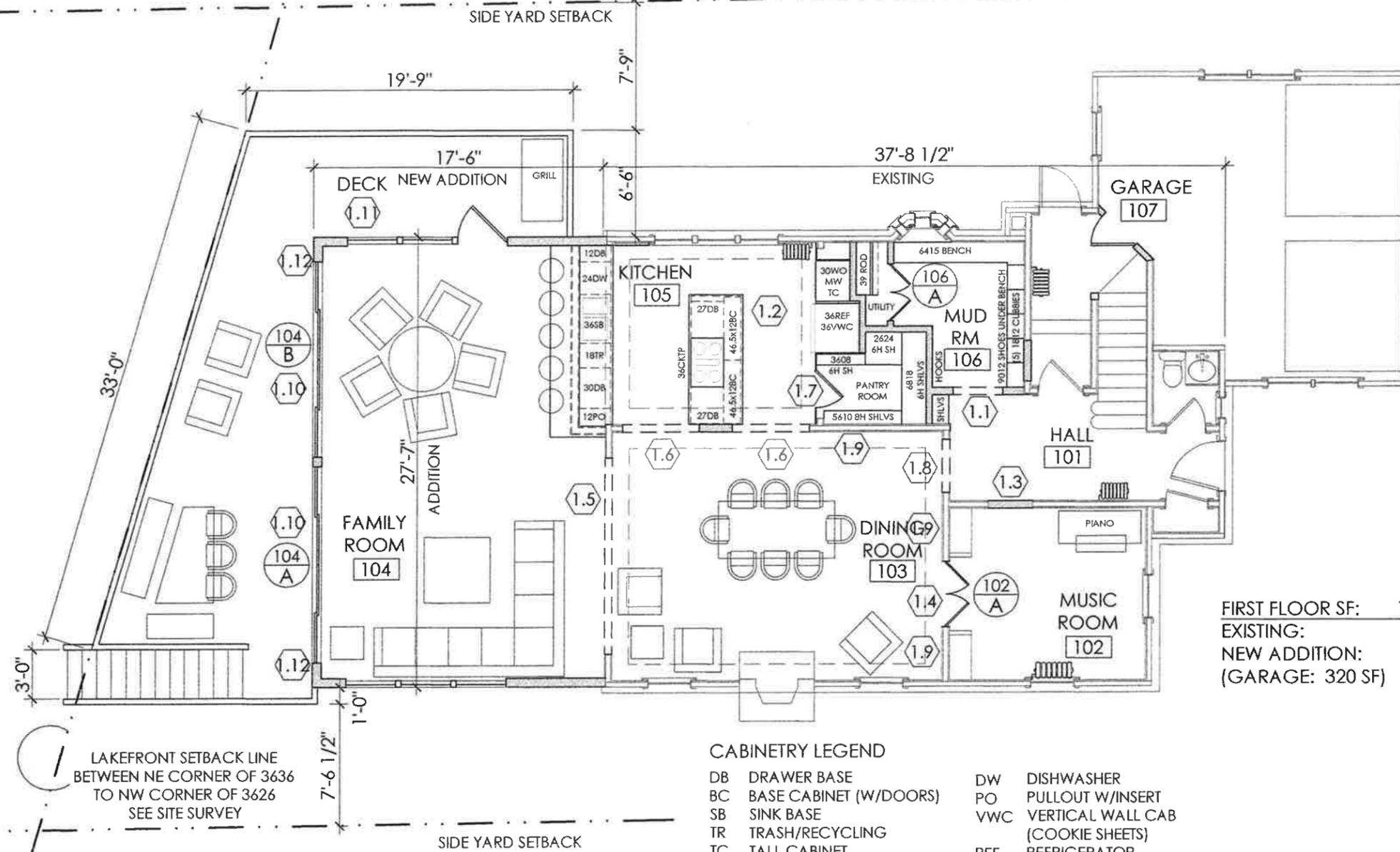
- NOT USED
- NOT USED
- REMOVE FIREPLACE STONE SURROUND/HEARTH. CLOSE UP OPENING W/NEW WALL TO ALIGN FLUSH W/ADJ. SURFACE. PROVIDE CABLE/TV CONNECTION FOR WALL MTD. TV LOCATION.
- REMOVE WINDOWS. PROVIDE NEW WALL INFILL W/INSULATION, ALIGN W/ADJ. SURFACE.

REVISIONS:

SHLIMOVITZ RESIDENCE
 3630 LAKE MENDOTA DRIVE
 VILLAGE OF SHOREWOOD HILLS
 MADISON, WI

DATE:	07.13.16
SCALE:	AS NOTED
PROJECT NO.:	SHLI 16

SHEET:
1A.0
 BASEMENT PLAN



FIRST FLOOR SF: 1,487 SF
EXISTING: 990 SF
NEW ADDITION: 497 SF
(GARAGE: 320 SF)

CABINETY LEGEND

DB	DRAWER BASE	DW	DISHWASHER
BC	BASE CABINET (W/DOORS)	PO	PULLOUT W/INSERT
SB	SINK BASE	VWC	VERTICAL WALL CAB (COOKIE SHEETS)
TR	TRASH/RECYCLING	REF	REFRIGERATOR
TC	TALL CABINET	MW	MICROWAVE
WC	WALL CABINET	WO	WALL OVEN
SH	SHELVES		

NUMBER BEFORE KEY REFERS TO WIDTH AND THEN DEPTH IF NOTED

1 FIRST FLOOR PLAN
1/8"=1'-0"

FIRST FLOOR KEYNOTES

- 1.1 REMOVE EXISTING KITCHEN/CABINETS/COUNTERTOPS. PROVIDE NEW MUDROOM AS SHOWN. SHIFT WALL BACK AT HALLWAY. PATCH FLOOR.
- 1.2 MAINTAIN COVED CEILING. PROVIDE NEW KITCHEN LAYOUT W/ CABINETS AS SHOWN. PROVIDE ALLOWANCE FOR GRANITE COUNTERTOPS.
- 1.3 REMOVE EXIST. DOOR AT HALLWAY AND PROVIDE NEW WALL TO ALIGN FLUSH W/ADJACENT SURFACE.
- 1.4 REMOVE FAKE FIREPLACE. PROVIDE NEW DOOR OPENING. BOOKCASES TO REMAIN. FIELD VERIFY NEW DOOR OPENING PRIOR TO DOOR ORDER.
- 1.5 REMOVE FIXED WINDOW. PROVIDE NEW CASED OPENING AND NEW HEADER FOR WIDTH OF NEW OPENING.
- 1.6 REMOVE WOOD FRAMED OPENING. PROVIDE TWO NEW ARCHED GYP. BD. OPENINGS INTO NEW KITCHEN.

FIRST FLOOR KEYNOTES continued

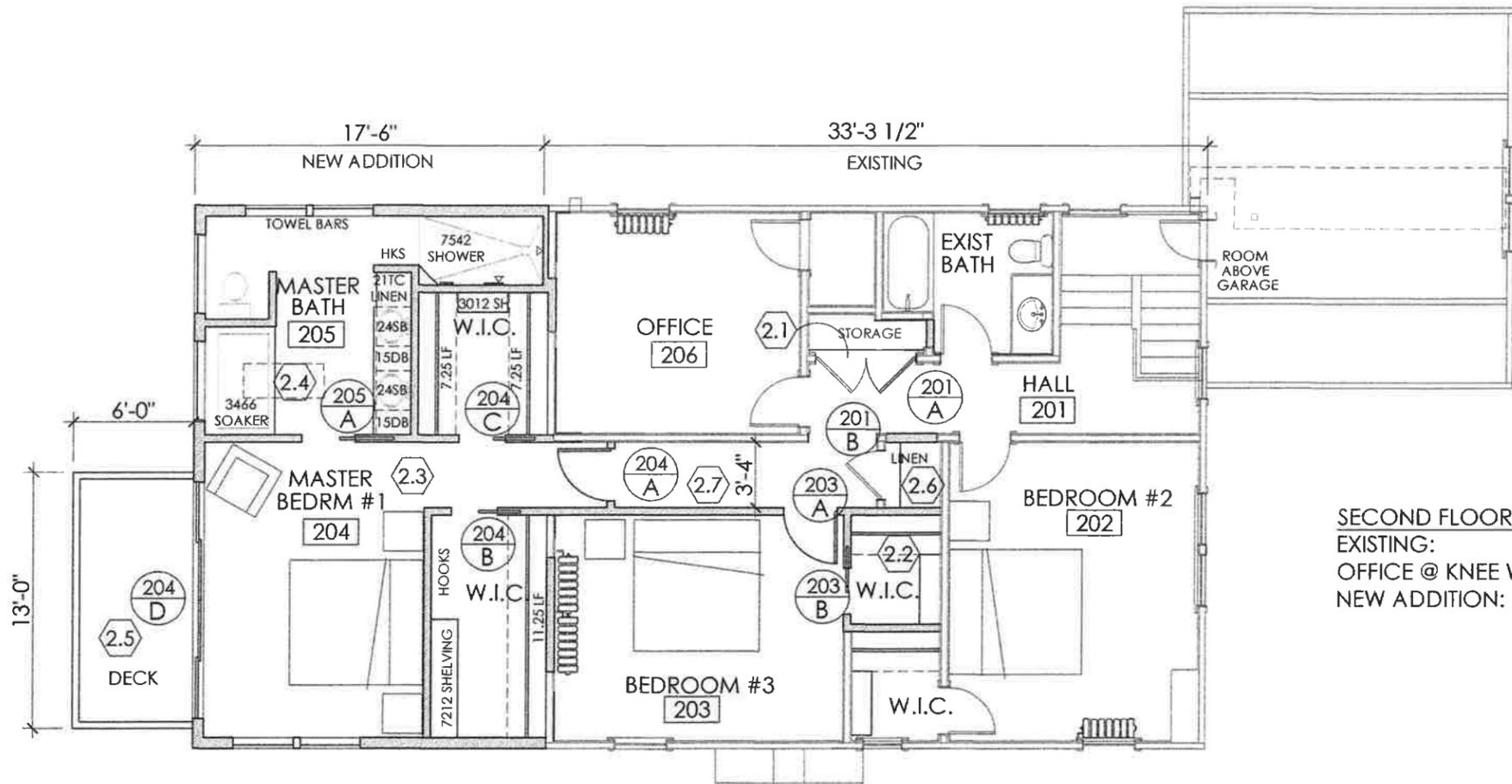
- 1.7 PROVIDE NEW PANTRY ROOM. WD. TRIM/CABINET FACE TO "HIDE" BEAM. REWORK/RELOCATE APPLIANCES AND PLUMBING AS REQUIRED FOR NEW LAYOUT
- 1.8 REMOVE DOOR AND WIDEN OPENING W/NEW PAINTED WD. TRIM. PATCH FLOOR AS REQUIRED.
- 1.9 REMOVE BOOKCASES. PATCH WALL AND FLOOR AS REQUIRED.
- 1.10 PROVIDE NEW HEADERS AND FRAMING AS REQ'D FOR 12'-0" WIDE OPENINGS/GLIDERS.
- 1.11 NEW DECK W/ST. STL CABLE RAILING SPACED AT 3.5" O.C AND VERTICAL SUPPORTS AS SHOWN ON ELEVATION. PROVIDE AZEK DECKING
- 1.12 PROVIDE I-SHEAR CORNER BRACING AS REQ'D FOR SHEAR CALCULATIONS.

REVISIONS:

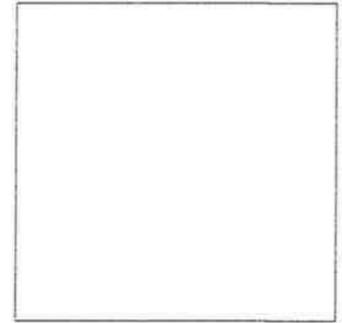
**SHLIMOVITZ
RESIDENCE**
3630 LAKE MENDOTA DRIVE
VILLAGE OF SHOREWOOD HILLS
MADISON, WI

DATE:	07.13.16
SCALE:	AS NOTED
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SHEET:
1A.1
FIRST FLOOR
PLAN



SECOND FLOOR SF
EXISTING: 918 SF
OFFICE @ KNEE WALL: 157 SF
NEW ADDITION: 497 SF



REVISIONS:

PROJECT:
**SHLIMOVITZ
RESIDENCE**
3630 LAKE MENDOTA DRIVE
VILLAGE OF SHOREWOOD HILLS
MADISON, WI

1 SECOND FLOOR
1/8"=1'-0"

SECOND FLOOR KEYNOTES

- 2.1 REWORK LINEN CLOSET IN HALL AND CLOSET IN EXIST. BATH TO CREATE LARGER STORAGE CLOSET. REUSE ONE DOOR PANEL AND MATCH FOR SECOND DOOR PANEL.
- 2.2 REWORK CLOSET TO PROVIDE TWO WALK IN CLOSETS FOR BEDROOM #2/3 . CREATE NEW HALL TO MASTER.
- 2.3 MASTER BEDRM/BATH ADDITION. PROVIDE CURVED CEILING IN MASTER BEDROOM. SEE ELEVATION.
- 2.4 NEW OPERABLE SKYLIGHT W/ELECTRONIC CONTROL CENTERED OVER TUB.
- 2.5 NEW AZEK DECK CANTILEVERED OVER LOWER DECK. PROVIDE FRAMING TO ACCOMMODATE CANTILEVER. PROVIDE 36" H. CABLE RAILING W/MTL. TOP RAIL.

CABINERY LEGEND

DB DRAWER BASE	DW DISHWASHER
BC BASE CABINET (W/DOORS)	PO PULLOUT W/INSERT
SB SINK BASE	VWC VERTICAL WALL CAB (COOKIE SHEETS)
TR TRASH/RECYCLING	REF REFRIGERATOR
TC TALL CABINET	MW MICROWAVE
WC WALL CABINET	WO WALL OVEN
SH SHELVES	

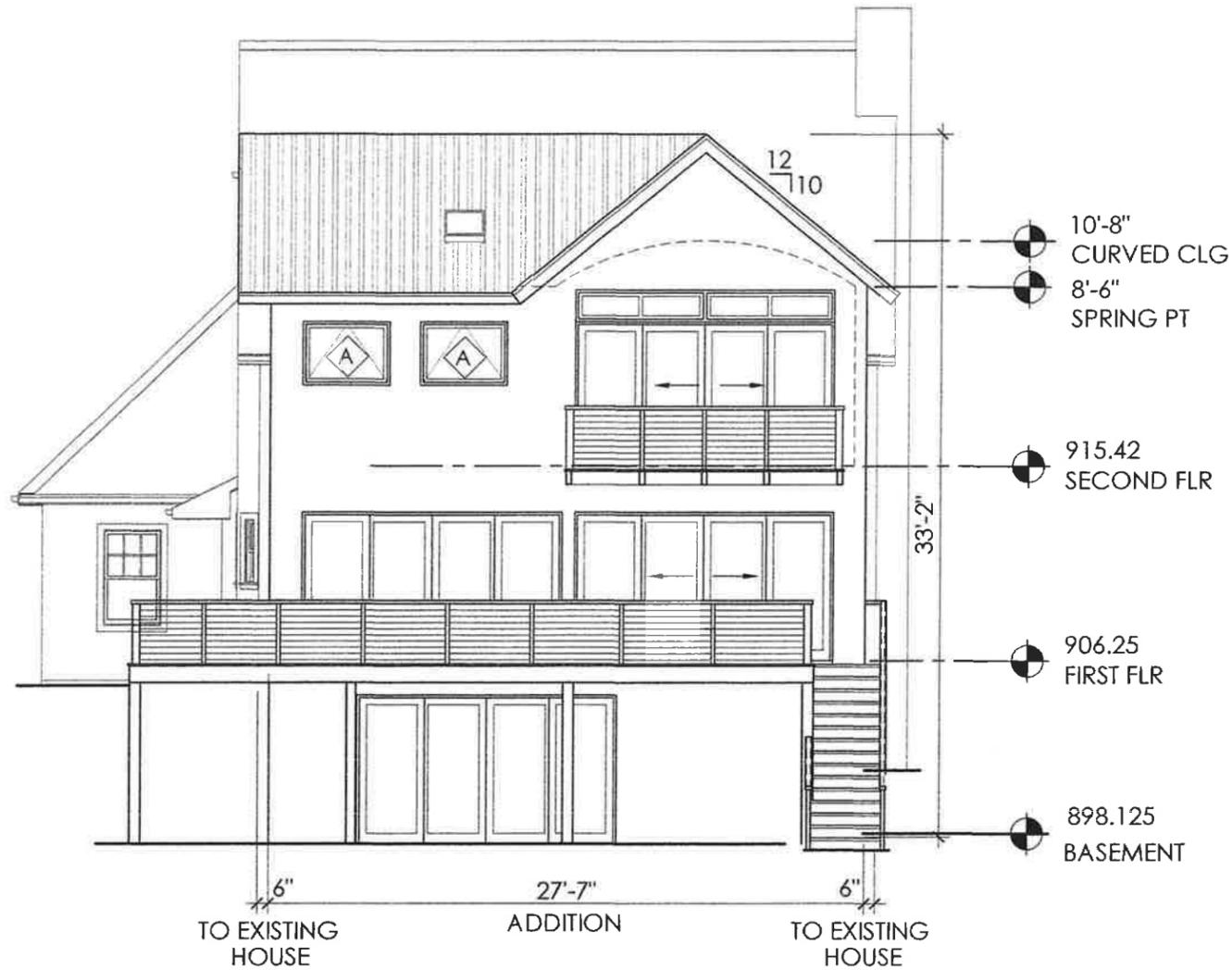
NUMBER BEFORE KEY REFERS TO WIDTH AND THEN DEPTH IF NOTED

SECOND FLOOR KEYNOTES continued

- 2.6 REMOVE DOOR TO CLOSET. PROVIDE WALL INFILL TO ALIGN FLUSH W/ADJACENT SURFACE. PROVIDE NEW DOOR OPENING FOR NEW LINEN CLOSET W/(5) HIGH, 3'-4" W (VERIFY) x 24" DEEP.
- 2.7 REMOVE BEDROOM WALL TO CREATE NEW HALLWAY TO MASTER BEDROOM ADDITION. PROVIDE WIDTH AS SHOWN ON PLAN.

DATE:	07.13.16
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SHEET:
1A.2
SECOND FLOOR
PLAN



1 LAKE SIDE ELEVATION
1/8"=1'-0"

EXTERIOR NOTES

1. EXISTING EXTERIOR: PAINTED BRICK, COLOR: CHARCOAL
2. EXTERIOR SIDING @ NEW ADDITION: LP SMARTSIDE CEDAR TEXTURE, LAP ENGINEERED STRAND SIDING. COLOR: CEDAR
3. NEW ROOF: STANDING SEAM METAL ROOF, COLOR: COPPER PATINA TO MATCH CURVED ROOF ABOVE FRONT DOOR.
4. GUTTERS/SOFFIT: MATCH EXISTING SIZE AND COLOR
5. DECK RAILING AND APRON: DARK CHARCOAL POSTS TO MATCH PAINTED HOUSE W/ST. STL CABLE RAILING TO MINIMIZE OBSCURING SIGHT LINES TO LAKE.

ZONING CODES/CONDITIONAL USE:

MAXIMUM HEIGHT ALLOWABLE: 30'-0" ABOVE GRADE TO GABLE W/ROOF SLOPE BELOW 12:12

EXISTING GABLE ROOFS: 14:12 ROOF SLOPE W/HEIGHT ABOVE GRADE RANGING FROM 32'-6" AND 33'-10".

SITE SLOPES OVER 67'-0" FROM LAKE MENDOTA DRIVE TO LAKE

WIDTH OF NEW ADDITION: 6" INSIDE OF EXISTING WIDTH OF HOUSE EACH SIDE.

HEIGHT OF NEW ADDITION: STEPS DOWN ALONG GRADE W/MAX. HEIGHT AT 33'-2" AT GABLE W/10:12 SLOPE. ADDITION WILL NOT BE SEEN FROM LAKE MENDOTA DRIVE AND IS IN KEEPING W/THE HEIGHT AND EXTENSION OF THE ADJACENT PROPERTIES ON EACH SIDE.

VIEWS OF LAKE MENDOTA WILL NOT BE ADVERSELY AFFECTED FROM ADJOINING NEIGHBORS AS THOSE PROPERTIES EXTEND CLOSER TO LAKE THAN CURRENT RESIDENCE. NEW ADDITION WILL BE SET BACK FROM THE LAKESIDE SETBACK LINE BETWEEN 3636 AND 3626. A PORTION OF FIRST FLOOR DECK W/SCREEN PORCH BELOW WILL EXTEND PASSED SETBACK LINE. DECK RAILING TO BE CABLE RAIL TO MAINTAIN VIEW.

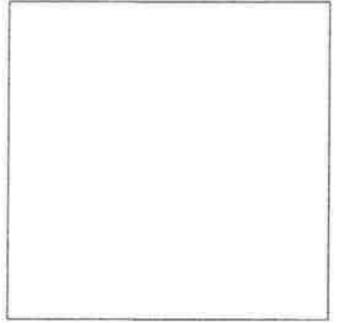
EROSION WILL NOT BE INCREASED BY THE NEW ADDITION. THE FLOW OF SURFACE WATER WILL NOT BE CHANGED FROM EXISTING AS THE LOT WILL CONTINUE TO MANAGE THE SURFACE WATER WITHIN THE BOUNDARIES. INFILTRATION OF SURFACE WATER INTO THE GROUND WILL NOT CHANGE.

ACCESS TO PROPERTY WILL REMAIN THE SAME AS THE ADDITION IS SET INSIDE OF WIDTH OF THE EXISTING HOUSE, THEREBY NOT ADVERSELY EFFECTING ACCESS BY FIREFIGHTERS AND EMERGENCY PERSONNEL.

WINDOW SCHEDULE X					
KEY	WINDOW			ASSEMBLY	MODEL #
	W	H	TYPE		
A	4'-0"	3'-0"	AWNING	SINGLE	IAWN4935
B	6'-0"	3'-0"	CASEMENT	DOUBLE	ICA3735 2W
C	6'-0"	5'-0"	GLIDER	DOUBLE	3763 2W
D	9'-0"	2'-7"	CASEMENT	TRIPLE	ICA3731 3W
E	6'-0"	4'-0"	CASEMENT	DOUBLE	ICA3735 2W
F	9'-0"	4'-0"	CASEMENT	TRIPLE	ICA3747 3W

WINDOW NOTES

1. PROVIDE MARVIN INTEGRITY WINDOWS AS SPECIFIED - CASEMENT, AWNING, OR PICTURE W/CLAD EXTERIOR AND PINE INTERIOR TO BE PAINTED TO MATCH EXIST. HARDWARE TO BE MATCH EXIST.
2. GLASS SHALL BE LOW E2 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE OR BY SIZE OF UNIT. MULL UNITS TOGETHER.



REVISIONS:

SHLIMOVITZ RESIDENCE
3630 LAKE MENDOTA DRIVE
VILLAGE OF SHOREWOOD HILLS
MADISON, WI

DATE:	07.13.16
SCALE:	AS NOTED
PROJECT NO.:	SHLI 16

SHEET:

3A.1

LAKE ELEVATION
1/8" = 1'-0"



1 EAST SIDE ELEVATION
1/8"=1'-0"

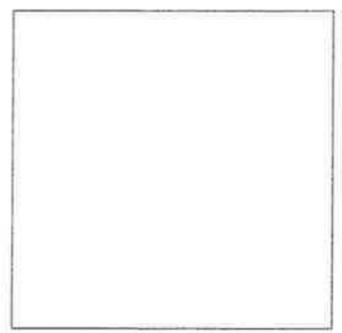
EXTERIOR NOTES

1. EXISTING EXTERIOR: PAINTED BRICK, COLOR: CHARCOAL
2. EXTERIOR SIDING @ NEW ADDITION: LP SMARTSIDE CEDAR TEXTURE, LAP ENGINEERED STRAND SIDING. COLOR: CEDAR
3. NEW ROOF: STANDING SEAM METAL ROOF, COLOR: COPPER PATINA TO MATCH CURVED ROOF ABOVE FRONT DOOR.
4. GUTTERS/SOFFIT: MATCH EXISTING SIZE AND COLOR
5. DECK RAILING AND APRON: DARK CHARCOAL POSTS TO MATCH PAINTED HOUSE W/ST. STL CABLE RAILING TO MINIMIZE OBSCURING SIGHT LINES TO LAKE.

WINDOW SCHEDULE X					
KEY	WINDOW			ASSEMBLY	MODEL #
	W	H	TYPE		
A	4'-0"	3'-0"	AWNING	SINGLE	IAWN4935
B	6'-0"	3'-0"	CASEMENT	DOUBLE	ICA3735 2W
C	6'-0"	5'-0"	GLIDER	DOUBLE	3763 2W
D	9'-0"	2'-7"	CASEMENT	TRIPLE	ICA3731 3W
E	6'-0"	4'-0"	CASEMENT	DOUBLE	ICA3735 2W
F	9'-0"	4'-0"	CASEMENT	TRIPLE	ICA3747 3W

WINDOW NOTES

1. PROVIDE MARVIN INTEGRITY WINDOWS AS SPECIFIED - CASEMENT, AWNING, OR PICTURE W/CLAD EXTERIOR AND PINE INTERIOR TO BE PAINTED TO MATCH EXIST. HARDWARE TO BE MATCH EXIST.
2. GLASS SHALL BE LOW E2 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE OR BY SIZE OF UNIT. MULL UNITS TOGETHER.



REVISIONS:

SHLIMOVITZ RESIDENCE
3630 LAKE MENDOTA DRIVE
VILLAGE OF SHOREWOOD HILLS
MADISON, WI

PROJECT:

DATE:	07.13.16
SCALE:	AS NOTED
PROJECT NO.:	SHLI 16

SHEET:

3A.2
EAST ELEVATION
1/8" = 1'-0"



2 WEST SIDE ELEVATION
1/8"=1'-0"

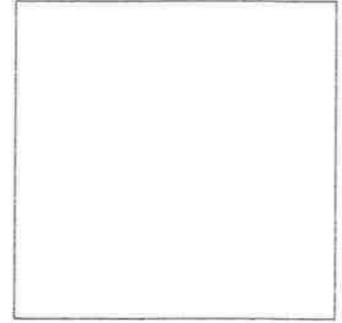
EXTERIOR NOTES

- EXISTING EXTERIOR: PAINTED BRICK, COLOR: CHARCOAL
- EXTERIOR SIDING @ NEW ADDITION: LP SMARTSIDE CEDAR TEXTURE, LAP ENGINEERED STRAND SIDING. COLOR: CEDAR
- NEW ROOF: STANDING SEAM METAL ROOF, COLOR: COPPER PATINA TO MATCH CURVED ROOF ABOVE FRONT DOOR.
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WINDOW SCHEDULE X					
KEY	WINDOW			ASSEMBLY	MODEL #
	W	H	TYPE		
A	4'-0"	3'-0"	AWNING	SINGLE	IAWN4935
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E	6'-0"	4'-0"	CASEMENT	DOUBLE	ICA3735 2W
F	9'-0"	4'-0"	CASEMENT	TRIPLE	ICA3747 3W

WINDOW NOTES

- PROVIDE MARVIN INTEGRITY WINDOWS AS SPECIFIED - CASEMENT, AWNING, OR PICTURE W/CLAD EXTERIOR AND PINE INTERIOR TO BE PAINTED TO MATCH EXIST. HARDWARE TO BE MATCH EXIST.
- GLASS SHALL BE LOW E2 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE OR BY SIZE OF UNIT. MULL UNITS TOGETHER.



REVISIONS:

SHLIMOVITZ RESIDENCE
3630 LAKE MENDOTA DRIVE
VILLAGE OF SHOREWOOD HILLS
MADISON, WI

PROJECT:

DATE:	07.13.16
SCALE:	AS NOTED
PROJECT NO.:	SHLI 16

SHEET:

3A.3
WEST ELEVATION
1/8" = 1'-0"

Plan Commission Special Exception Permit Review

3630 Lake Mendota Drive July 12, 2016

A special exception shall not be granted unless the applicant demonstrates that the building or buildings on the lot that exceed the floor area and height limit will meet the conditions set forth in Sec. 10-1-52 of this Code. For purposes of this section references to “use” or “conditional use” in Sec. 10-1-52 shall be deemed to be references to the building or buildings for which a special exception is requested. The applicant shall demonstrate compliance with the following:

1. The uses, values, views, vistas and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or be diminished by the special exception.

Finding: *The request for exceptions to the height limitations for a gable roof of less than 12:12 of up to 3' 2" over the 30' limit and a flat roof of 2'1" over the 22' limit is granted. The roof height is compatible with the surrounding homes and is no higher than the existing roof on the home. The addition is on the lakeside of the property and is no wider than the existing home. The deck railing is a cable type railing.*

2. The special exception will not substantially impair an adequate supply of light and air to adjacent property, or increase the danger of fire within the neighborhood.

Finding: *Will not impair an adequate supply of light and air to adjacent property.*

3. The special exception will not substantially increase erosion;

Finding: *Will not.*

4. The special exception will not substantially cause the flow of surface water to be changed so as to adversely affect other lots or the natural environment.

Finding: *Will not.*

5. The special exception will not substantially adversely affect infiltration of surface water into the ground.

Finding: *Will not.*

6. The special exception will not substantially adversely affect access to property or structures by fire fighters and other emergency personnel.

Finding: *Will not.*

The Plan Commission may consider the following:

1. If other residences along the same side of the street adjoining the residence have similar floor areas: *Floor areas of the two adjacent homes are over 4,000 sf. This home with the addition is under 3,600 s.f. in floor area.*
2. If the lot has large trees and/or mature landscaping which obscures the scale of the residence. *There are large trees on the lakeside of the lot.*
3. If the property has unique topographic features which reduce the scale of the residence: *The lot slopes down toward the lake.*
4. If the residence setback from the public street is significantly greater than minimum requirements: *The addition is no on the street side of the lot.*

The Plan Commission shall review the application according to the standards below. No application shall be recommended for approval by the Plan Commission unless it finds that the following are met:

1. That the establishment, maintenance or operation of the special exception will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: *Will not be detrimental or endanger.*

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the special exception and the proposed special exception is compatible with the use of adjacent land.

Finding: *Will not be impaired or diminished.*

3. That the establishment of the special exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district, and will not be contrary to an adopted comprehensive plan of the Village.

Finding: *Will not impede or be contrary.*

4. That adequate utilities, access roads, drainage and other necessary site improvements have been, are being or will be provided.

Finding: *Adequate.*

5. That the establishment, maintenance or operation of the special exception is unlikely to increase the level of traffic congestion or reduce the level of safety at any point on the public streets.

Finding: *Unlikely to increase traffic or reduce safety.*

6. That the special exception shall conform to all applicable regulations of the district in which it is located.

Finding: *Conforms except for exceptions being requested.*

7. That the special exception does not violate flood plain regulations governing the site. *n/a.*

Finding:

8. That, when applying the above standards to any new construction of a building, or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

Finding: *This as an R-3 zoning district consisting of single family homes.*

The Plan Commission shall also evaluate the effect of the special exception upon:

- The maintenance of safe and healthful conditions.

Finding: *Okay*

The prevention and control of water pollution including sedimentation.

Finding: *Okay*

- Existing topographic and drainage features and vegetative cover on the site.

Finding: *Okay*

- The location of the site with respect to floodplains and floodways of rivers and streams.

Finding: *n/a*

- The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.

Finding: *Okay*

- The location of the site with respect to existing or future access roads.

Finding: *n/a*

- The need of the proposed use for a shoreland location.

Finding: *okay*

- Its compatibility with uses on adjacent land.

Finding: *Okay*

Regarding the establishment, maintenance or operation of the special exception applied for, the Plan Commission shall specify whatever reasonable conditions it deems necessary

and appropriate to fulfill the intent of this Chapter. The conditions may include requirements relating to any of the following:

- Landscaping conditions required:
- Type of construction conditions required: *Comply with noise regulations*
- Construction commencement and completion dates required: Comply with building permit requirements
- Surety required: *n/a*
- Lighting required: *Comply with dark sky ordinance*
- Fencing required: *n/a*
- Deed restrictions required: *n/a*
- Access restrictions required: *n/a*
- Setbacks and yards required: *Comply with zoning code*
- Planting screens required: *n/a*
- Modifications in parking required: *n/a*

- Architecture, exterior colors and exterior materials required: n/a

Any other requirements necessary to fulfill the purpose and intent of the Zoning Code of the Village of Shorewood Hills conditions required:

Plan Commission Conditional Use Permit Review Lake Mendota Drive Projects 3630 Lake Mendota Drive July 12, 2016

The Plan Commission shall forward its written advisory recommendation to the Village Board within ninety (90) days after receipt of the application from the Zoning Administrator. The Plan Commission shall recommend approval, approval subject to specified conditions, or denial. A recommendation for denial shall include the reasons, including which standards contained in the Plan Commission review are found not to be met.

A conditional use shall be approved under this paragraph only if the applicant demonstrates by clear and convincing evidence the following:

1. Views of Lake Mendota from points off the lot on which the development or excavation proposed will not be adversely affected. *There will be no adverse impact on views.*
2. Erosion will not be increased. *Trigger of stormwater management requirements should decrease erosion potential.*
3. The flow of surface water will not be changed so as to adversely affect other lots, the lake and other aspects of the natural environment. *No adverse impact.*
4. Infiltration of surface water into the ground will not be adversely effected. *No adverse effect.*
5. Access to properties and structures by firefighters and other emergency personnel will not be adversely effected: *No adverse effect.*

The Plan Commission shall review the application according to the standards below. No application shall be recommended for approval by the Plan Commission unless it finds that the following conditions are met:

1. That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: *No detrimental effect.*

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired

or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

Finding: *No substantial impairment or diminishment. The use is compatible with adjacent uses.*

3. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district, and will not be contrary to an adopted comprehensive plan of the Village.

Finding: *Will not impede the normal and orderly development of surrounding property.*

4. That adequate utilities, access roads, drainage and other necessary site improvements have been, are being or will be provided.

Finding: *Adequate.*

5. That the establishment, maintenance or operation of the conditional use is unlikely to increase the level of traffic congestion or reduce the level of safety at any point on the public streets.

Finding: *No increase in traffic or reduction in safety.*

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

Finding: *Conforms except for height limit that will require special exception permit and deck that encroaches into lakefront setback*

7. That the conditional use does not violate flood plain regulations governing the site.

Finding: *Project is not in a flood plain.*

8. That, when applying the above standards to any new construction of a building, or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

Finding: *Does not defeat purposes and objectives of zoning district.*

The Plan Commission shall also evaluate the effect of the proposed conditional use upon:

- The maintenance of safe and healthful conditions.

Finding: *Maintained.*

The prevention and control of water pollution including sedimentation.

Finding: *Project should decrease potential for water pollution and sedimentation.*

- Existing topographic and drainage features and vegetative cover on the site.

Finding: *There should not be a detrimental effect.*

- The location of the site with respect to floodplains and floodways of rivers and streams.

Finding: *Not applicable.*

- The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.

Finding: *Should not be an increase in erosion potential.*

- The location of the site with respect to existing or future access roads.

Finding: *Not applicable.*

- The need of the proposed use for a shoreland location.

Finding: *This is an addition to a single family home that is a permitted use in this shoreland location.*

- Its compatibility with uses on adjacent land.

Finding: *This is a single family home adjacent to other single family homes.*

- Any other requirements necessary to fulfill the purpose and intent of the Zoning Code of the Village of Shorewood Hills conditions required: *Compliance with dark sky, stormwater, erosion control ordinances and noise regulations during construction.*
- *Plan Sheets 1A1 and SB1 shall be revised to eliminate the deck and enclosed screen porch encroachment into the lake setback line.*

Village of Shorewood Hills
Lakefront Setback Line near #3630



3630 Lake Mendota Drive

Lake Mendota Dr

LEGEND

- Lakefront Setback
- Streets
- Tax Parcels
- - - Municipal Boundary

Aerial Photos (2014)

RGB

- Red: Band_1
- Green: Band_2
- Blue: Band_3

0 5 10 20
Feet

tc TOWN & COUNTRY ENGINEERING, INC.
2912 Marketplace Drive
Suite 103
Madison, WI 53719
(608) 273-3350
www.tcengineers.net

Town & Country Engineering, Inc. makes no representation regarding the accuracy or completeness of this map and its underlying data. Any use or reuse of this map will be at your own risk and without liability or legal exposure to Town & Country Engineering, Inc. Not to be used for utility marking for purposes of Digger's Hotline. Date: 7/15/2016
Path: J:\JOB\SH\Shorewood Hills\SH-00-00\Mapping\Shorewood Hills Mapping.mxd

SITE WORK COST ESTIMATE

CLIENT NAME:
PROJECT NAME:

VILLAGE OF SHOREWOOD HILLS
Cold Storage Building construction
July 15, 2016

DATE OF ESTIMATE:

COST ESTIMATE:

Building Size: square feet

<u>Description:</u>	<u>Low End</u>	<u>High End</u>	<u>Low Est. Cost</u>	<u>High Est. Cost</u>
Dumpster/Portable Toilet/etc	\$ 0.50 /sq. ft.	\$ 0.75 /sq. ft.	\$3,000	\$4,500
Building Shell (hardware, insulation, steel frame, doors/windows, and labor)	\$ 45.00 /sq. ft.	\$ 50.00 /sq. ft.	\$270,000	\$300,000
Interior finishes (masonry, railings, stairs)	\$ 5.00 /sq. ft.	\$ 6.25 /sq. ft.	\$30,000	\$37,500
Plumbing (floor drains)	\$ 1.00 /sq. ft.	\$ 2.00 /sq. ft.	\$6,000	\$12,000
Electrical	\$ 7.00 /sq. ft.	\$ 9.00 /sq. ft.	\$42,000	\$54,000
Retaining wall along north building face	\$ 20,000 lump	\$ 20,000 lump	\$ 20,000	\$ 20,000
Site work (see Site Work estimate for details)	\$ 96,971 lump	\$ 96,971 lump	\$ 96,971	\$ 96,971
CONSTRUCTION SUBTOTAL			\$467,971	\$524,971
Engineering/Architecture	@ <input type="text" value="5"/> %		\$23,399	\$23,399
Contingency	@ <input type="text" value="10"/> %		\$46,797	\$52,497
TOTAL			\$538,167	\$600,867

Potential Cost Saving Measures

Eliminate offset roof feature and roof windows	(\$12,500)
Remove tree, push building south to reduce retaining wall needs	(\$20,000)
Remove one "bay", shortening building to 60' x 80'	(\$75,000)
Use timber frame instead of steel frame, will lower roof clearance and reduce service life	(\$100,000)

SITE WORK COST ESTIMATE

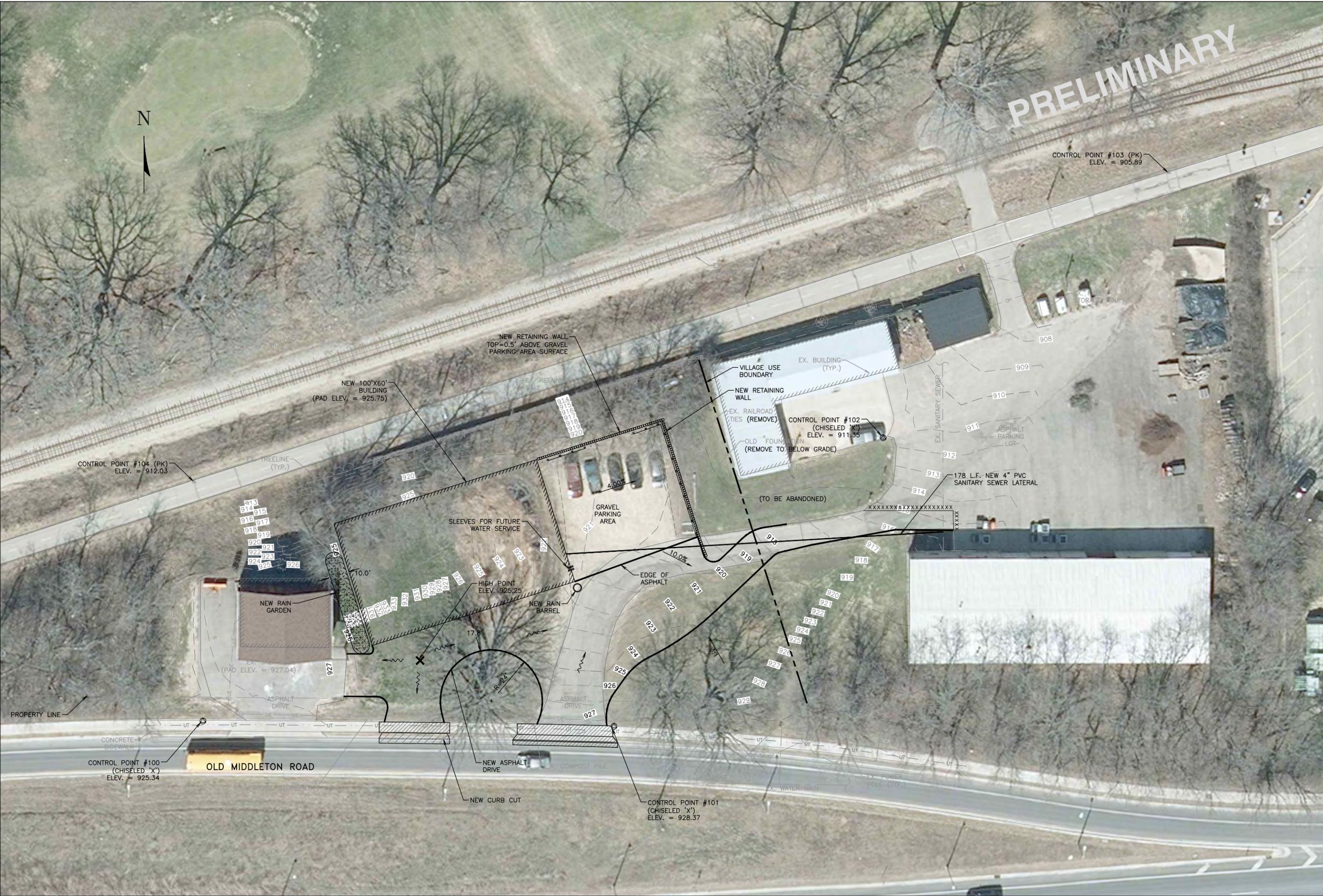
CLIENT NAME:
PROJECT NAME:
DATE OF ESTIMATE:

VILLAGE OF SHOREWOOD HILLS
Cold Storage Building Site Work
(Building Construction is a Separate Estimate)
May 10, 2016

COST ESTIMATE:

<u>Description:</u>	<u>Units</u>	<u>Unit Price</u>	<u>Estimated Cost</u>
Mobilization, Bonds & Insurances	1 l.s.	\$4,600.00 l.s.	\$4,600
Well Abandonment, Old Foundation Removal, Existing Sidewalk Removal	1 l.s.	\$5,000.00 l.s.	\$5,000
Excavation/Fill	880 c.y.	\$15.00 /c.y.	\$13,200
Structural Fill Under Building	150 c.y.	\$30.00 /c.y.	\$4,500
Cut New Curb Entrances	2 ea.	\$500.00 ea.	\$1,000
New 7" Thick Concrete Driveway Apron & Sidewalk	627 s.f.	\$8.00 /s.f.	\$5,016
Modular Concrete Block Retaining Wall	553 face s.f.	\$35.00 /f.s.f.	\$19,355
Crushed Aggregate Base Course	914 tons	\$16.00 /ton	\$14,624
3" Asphalt Surface Course	180 tons	\$110.00 /ton	\$19,800
Rain Garden	1 l.s.	\$3,500.00 l.s.	\$3,500
Topsoil Restoration	672 s.y.	\$3.00 /s.y.	\$2,016
Seeding, Fertilizing & Mulching	672 s.y.	\$5.00 /s.y.	\$3,360
Erosion Control	1 l.s.	\$1,000.00 l.s.	\$1,000
CONSTRUCTION SUBTOTAL			\$96,971

PRELIMINARY



2912 Marketplace Drive
Suite 103
Madison, WI 53719
(608) 273-3350
www.tceingineers.net

SITE PLAN

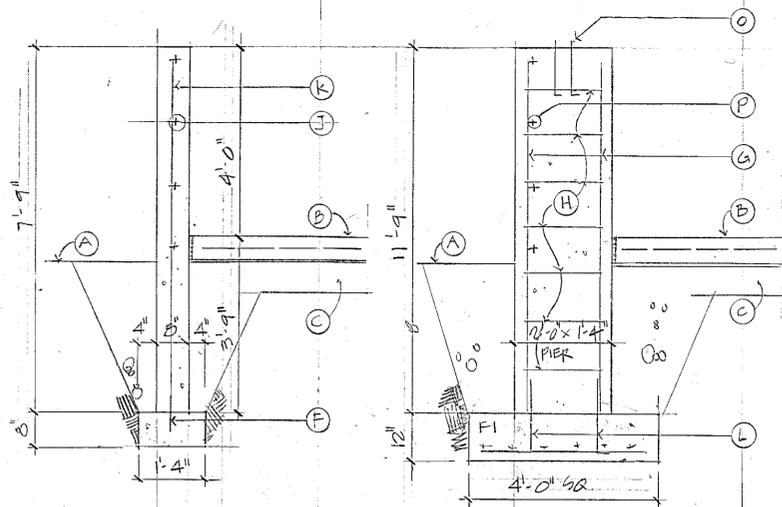
2016 STREET AND UTILITY IMPROVEMENTS
Cold Storage Facility
Village of Shorewood Hills, Wisconsin

PROJECT NO.: SH 67
DRAWING FILE: COLD_STORAGE.DWG
DRAWN BY: J.C.A.
CHECKED BY: W.O.M.

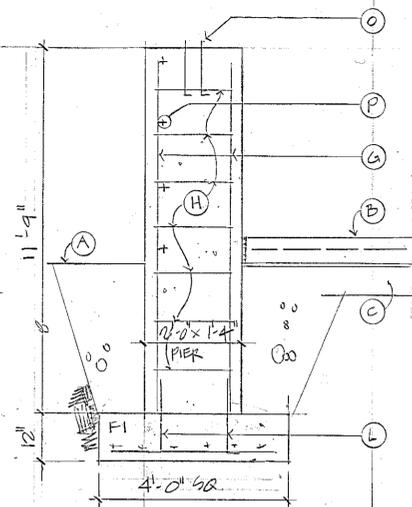
DATE: 6-24-16
REVISIONS:

SCALE: 0 5 10 20

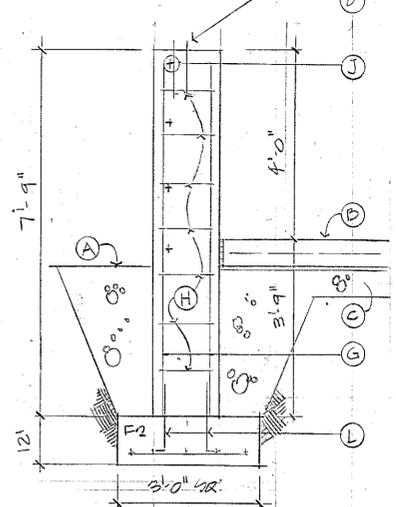
SHEET: 1



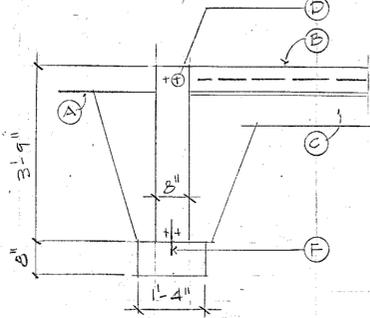
SECTION 1
SCALE: 1/2" = 1'-0"



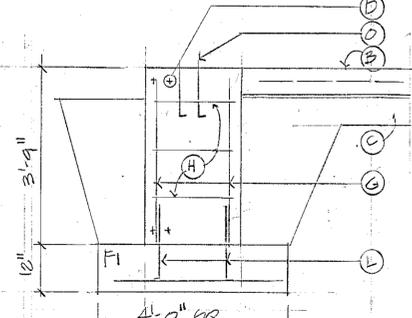
SECTION 2
SCALE: 1/2" = 1'-0"



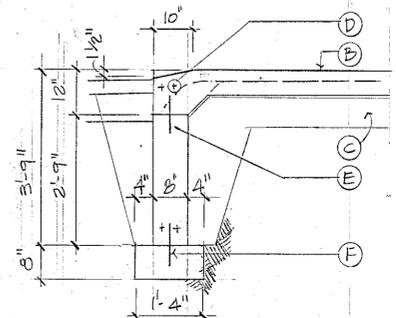
SECTION 3
SCALE: 1/2" = 1'-0"



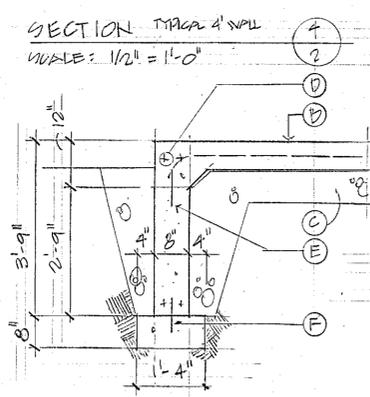
SECTION 4
SCALE: 1/2" = 1'-0"



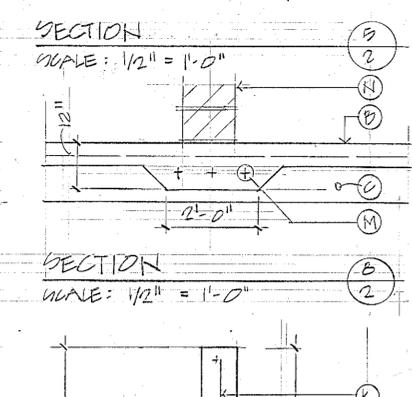
SECTION 5
SCALE: 1/2" = 1'-0"



SECTION 6
SCALE: 1/2" = 1'-0"



SECTION 7
SCALE: 1/2" = 1'-0"



SECTION 8
SCALE: 1/2" = 1'-0"



SECTION 9
SCALE: 1/2" = 1'-0"

FOUNDATION NOTES

- A = GRADE LINE
- B = 6 INCH FLOOR SLAB WITH MESH AND 6 MIL POLY BARRIER
- C = 8 INCHES OF COMPACTED GRANULAR FILL
- D = 2 - #4 BARS CONTINUOUS TOP AND BOTTOM OF WALL
- E = 12 INCH LONG DOWELS SPACED @ 24 INCHES ON CENTER
- F = 12 INCH LONG DOWELS SPACED @ 48 INCHES ON CENTER
- G = 4 - #4 VERTICAL BARS
- H = #3 HORIZONTAL TIES SPACED @ 12 INCHES ON CENTER
- J = 4 - #4 HORIZONTAL BARS SPACED @ 16 INCHES ON CENTER
- K = #4 VERTICAL BARS SPACED @ 16 INCHES ON CENTER
- L = 4 - #4 DOWELS
- M = 3 - #4 BARS CONTINUOUS
- N = MASONRY WALL
- O = 4 - 3/4" DIA. ANCHOR BOLTS

P-7 - #4 @ 5P.C. 16" O.C.

GENERAL NOTES AND SPECIFICATIONS

SOIL BEARING CAPACITY: Designed on the presumptive method. Design soil pressure is 2000 PSF. This to be field verified.

CONCRETE STRENGTH: 3000 PSI in 28 days, slump not over 4". Ready mix concrete to meet ASTM C34 standards.

REINFORCING STEEL: Deformed bars, ASTM A616, Grade 40, or A616, Grade 50, mesh to be ASTM A185.

CONCRETE TEMPERATURE: Maintain concrete temperature above 50 degrees for a minimum of 72 hours.

COVER ON REINFORCING STEEL: With concrete, 3" net to the ground, 2" next to the foundation wall forms, lap reinforcing steel bars 24 bar diameters and lap mesh 6".

FINISHING AND CURING CONCRETE: Keep wall forms on 24 hours before stripping. Keep floors covered with watertight membrane for 3 days, or use a curing compound. Steak trowel all floors to a dense finish.

BUILDING: The building is of a type VB wood frame unprotected construction class. The metal building structure is to be submitted as a component submission before site installation.

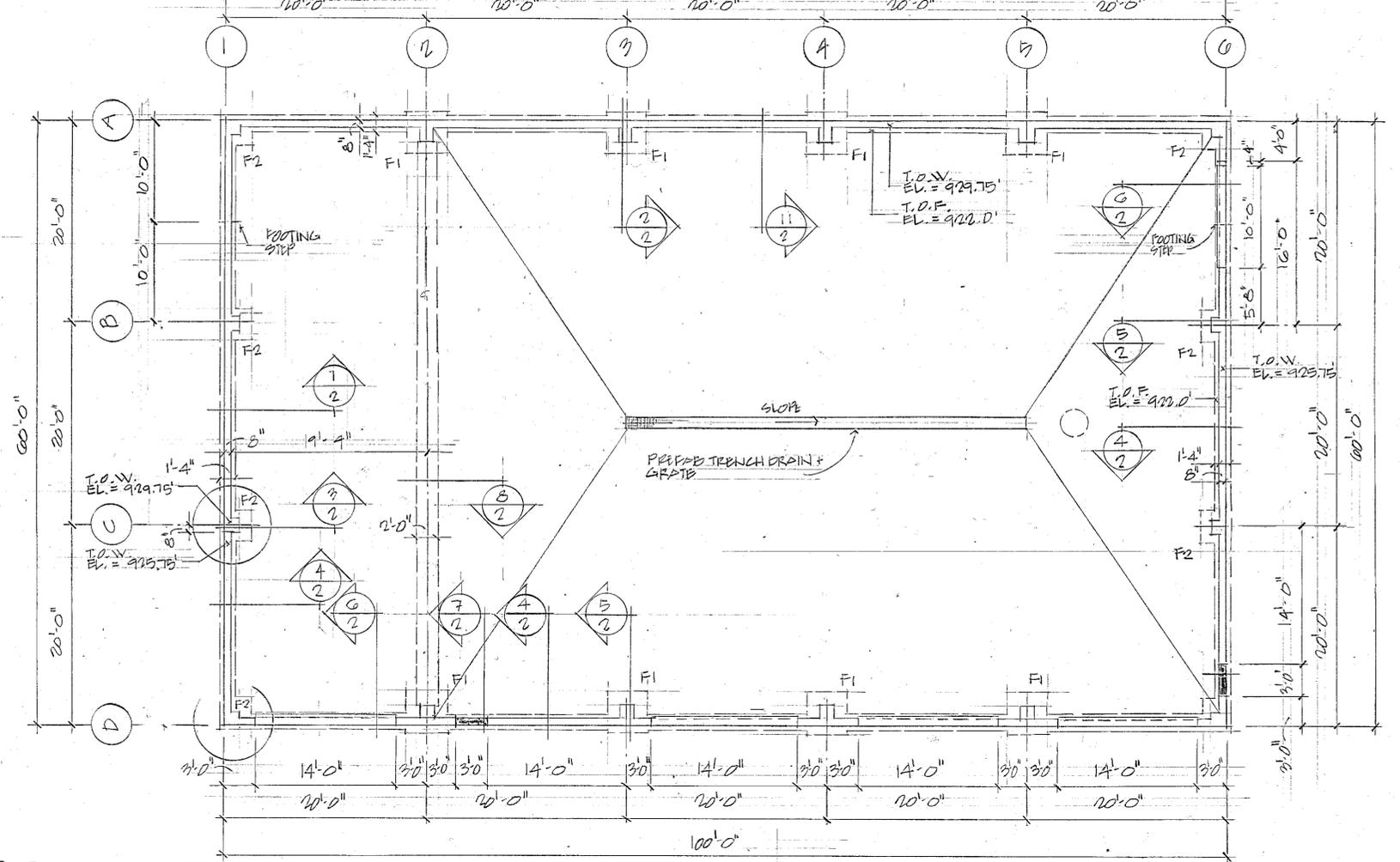
DESIGN LOADS: ROOF:
 Live Load = 30 PSF, Roof Snow Load = 24 PSF, Snow Drift Maximum Load (See Calculations), Ground Snow Load = 30PSF
 Dead Load = 9 PSF
 Collateral Load = 3 PSF
 Wind Load = 20 PSF, Wind Importance Factor = 1.00, Wind Exposure Category = B
 Seismic Load: Seismic Importance Factor = 1.0, Site Class = D, Seismic Design Category = B

MEZZANINE:
 Live Load = 125 psf
 Dead Load = 15 PSF

EXIT LIGHTS: Shall be provided over all exit doors. Every sign shall have the word "EXIT" in plainly legible letters not less than 6" high, with the principal strokes of the letters not less than 3/4" wide.

PLUMBING, HVAC, AND ELECTRICAL: Are not a part of these plans. All work to be installed in accordance with all state and local building codes.

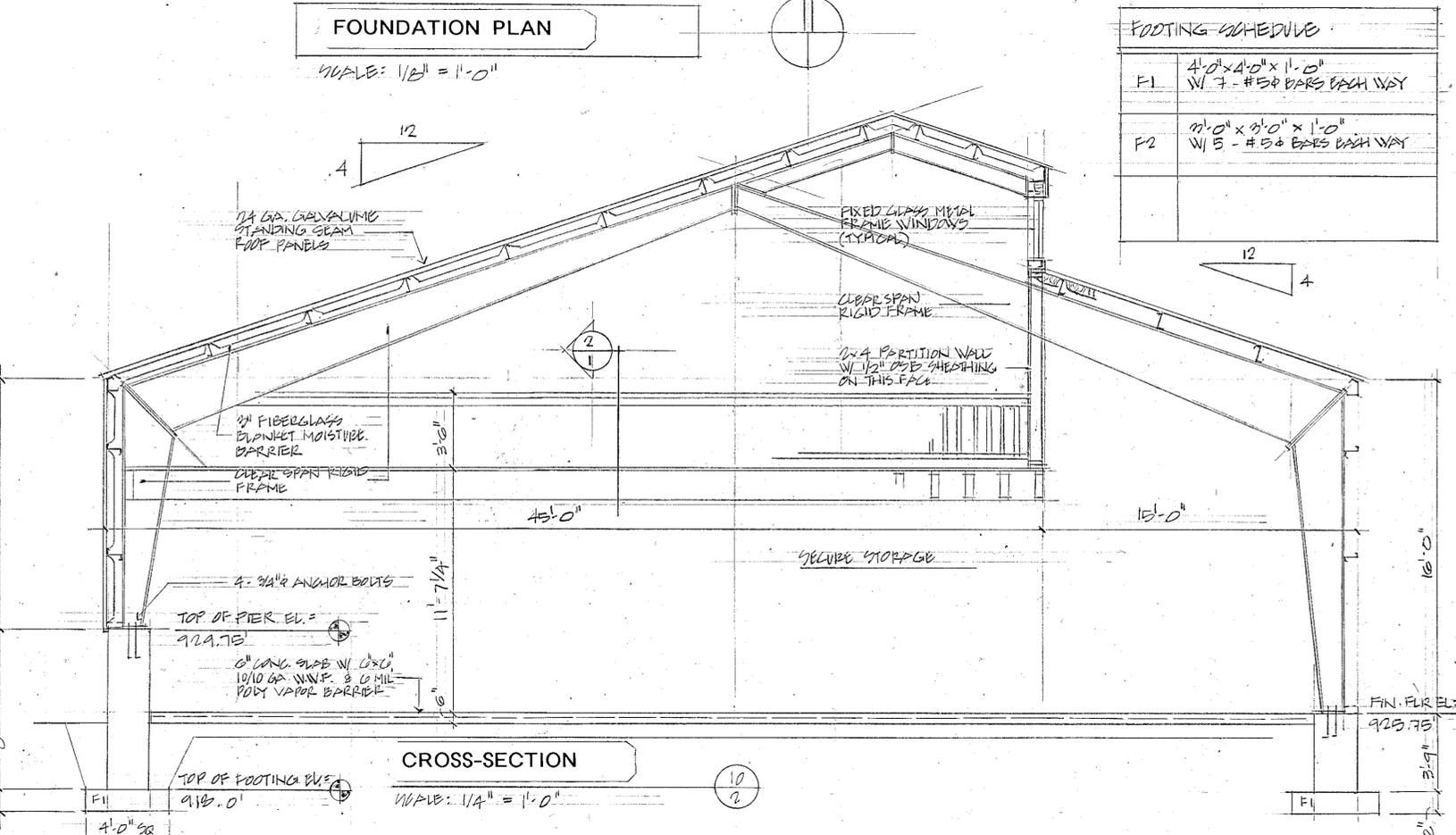
DEVIATION FROM PLANS: There shall be no deviation from these plans without the written consent of the Architect.



FOUNDATION PLAN
SCALE: 1/2" = 1'-0"

FOOTING SCHEDULE

F1	4'-0" x 4'-0" x 1'-0" W/ 7 - #5 @ BARS EACH WAY
F2	3'-0" x 3'-0" x 1'-0" W/ 5 - #5 @ BARS EACH WAY



CROSS-SECTION
SCALE: 1/4" = 1'-0"

2012 Marketplace Drive
 Suite 103
 Madison, WI 53719
 (608) 273-3360
 www.tceengineering.net

tc TOWN & COUNTRY ENGINEERING, INC.

Rodney W. Helt, AIA
 Registered Architect
 8114 Paulson Road
 Verona, Wisconsin 53593
 608-848-8881

PROJECT: VIEWER AT SHOREWOOD HILLS PAVILION WORKS BUILDING
 OLD MIDDLETON ROAD
 SHOREWOOD HILLS, WISCONSIN

	Capital Need	Year	Paid to Date	Est. Amt. Needed	Funding Source(s)	Suggested Committee Referral	Comments	Category	
1	Repair Overhang at Pool	2015	13,822	0	Capital Borrowing / Pool Fund	Pool	50/50 split \$27,644 between Pool Fund and Capital Borrowing. Was not initially included in 2015 borrowing. Original estimate \$12K.	Facilities	Completed
2	Pier at Marina, Moorings at Marina & McKenna Park	2015	28,800	0	Marina Program	Waterfront	Pay using fund balance. Reimbursed by Marina Program. Original estimate \$40K. Paid for from 2014 Marina fund balance.	Facilities	Completed
3	Replace Modine Heating Units at DPW Building	2015	5,070	0	Capital Borrowing	Services	Beyond serviceable life. Approved by Board on 1-20-15. Original estimate \$5,500.	Facilities	Completed
4	DPW Building Exterior Repairs	2015	20,801	0	Capital Borrowing	Services	Repairs to the building exterior including stucco and paint. Received bid for ~\$21K.	Facilities	Completed
5	Basement HVAC units at Village Hall	2015	15,797	0	Capital Borrowing	Services	Maintenance, expected life. One unit has failed. Estimate ~9,000 to replace. Can save money if all are replace. ~\$7,000 each.	Facilities	Completed
6	Tool Cat with stump grinder and other attachments	2015	60,439	0	Capital Borrowing	Services	2005 Forester truck #3 life could be extended 5-10 years (low mileage, good condition). Purchase Tool Cat to share between departments for work in the parks, planting trees, plowing in the winter. Avoid Forester using his personal vehicle. Avoid skid steer exceeding lease hours. Purchase would eliminate need to replace 4wd Snow Machine in 2020 (~\$50K). Purchased in April 2015. Original estimate \$60K.	Equipment	Purchased
7	squad car	2015	28,372	0	General Fund-Operating	Public Health & Safety	Two Year rotation of vehicles. Includes equipment. Purchased in April 2015. Original estimate \$28,500.	Equipment	Purchased
8	Road resurfacing of streets on west side of Village	2015	756,222	0	Capital Borrowing	Public Works	Mill and resurface streets. Original estimate \$800-926K.	Streets	Completed
	Subtotal 2015		929,323	0					
9	Line Lake Mendota Sanitary Sewer	2016	168,000	0	Capital Borrowing/ Sewer Fund	Public Works	Subject to root problems, difficult to maintain, costly to replace. Bids received and approved for work, projected cost = \$193,080.	Facilities	Completed
10	Update accounting software	2016	13,000	0	Capital Borrowing/ All Funds-Operating	Board	Share amongst all department, utilities, pool. Streamline office operations including utility billing, accounts payable and customer access to bills. Total \$39K paid over 3 years.	Equipment	Paid
11	Pave Blackhawk CC parking lot	2016	141,477	0	Capital Borrowing	Public Works	BCC to repay over life of 2015 borrowing. Original estimate \$180K.	Streets	Completed
12	Road resurfacing of streets on west side of Village	2016	0	222,000	Capital Borrowing	Public Works	Mill and resurface streets remaining streets on west side of Village. Grant for Oxford Road ~\$42K.	Streets	
13	University Bay Drive/University Avenue improvements	2016	0	165,000	Capital Borrowing	Board	TID 3 - Widen the southbound lane and bike path south of 700 UBD	TID	TID 3
	Subtotal 2016		322,477	387,000					
14	Phone system	2017	0	20,000	Capital Borrowing/ All Funds-Operating	Board	Share amongst all departments. The present phone system is problematic. Yet to determine upgrade vs. new and hosted vs. in-house.	Equipment	Not done yet
15	Playground equipment at Post Farm Park & 4 Corners Park	2017	0	0	Donations	Recreation/ Parks	Cost of new equipment to be offset or paid for entirely by fundraising. Address safety of some of the playground equipment. Est. cost \$30K.	Facilities	
16	4 Corners bathroom & shelter improvements	2017	0	20,000	Donations/Capital Borrowing	Services	The improvements would need to bring the building into compliance with ADA requirements: Expand bathroom, ramp to shelter deck. Could be partially or totally funded by donation.	Facilities	Not done
17	Cold storage building	2017	0	530,000	Capital Borrowing	Services/ Board	Reason: Scheduled loss of Degen building prior to 2018. Amount is for construction of 60' x100' building for storage of DPW, Police and Fire/EMS Association equipment (2016 Cost Est \$500K).	Facilities	Not done yet
18	Update accounting software	2017	0	13,000	Capital Borrowing/ All Funds-Operating	Board	Share amongst all department, utilities, pool. Total \$39K paid over 3 years. Payment 2 of 3.	Equipment	
19	Chipper	2017	0	45,000	Capital Borrowing	Services	Replaces 2007 model, worth ~\$5,000.	Equipment	
20	squad car	2017	0	29,500	General Fund-Operating	Public Health & Safety	Two Year rotation of vehicles. Includes equipment.	Equipment	
21	Locust Drive, bike path at Maple Terrace	2017	0	150,000	Capital Borrowing	Board	TID 4 - Improvement to bike path intersections with Locust Drive and Maple Terrace. Est. \$100-200K.	TID	TID 4
	Subtotal 2017		0	807,500					
22	Update accounting software	2018	0	13,000	Capital Borrowing/ All Funds-Operating	Board	Share amongst all department, utilities, pool. Total \$39K paid over 3 years. Payment 3 of 3.	Equipment	
23	McKenna Park Beach House roof repairs and railing replacement	2018	0	15,000	Marina Program/ Capital Borrowing	Waterfront/ Services	Pay using fund balance. Reimbursed by Marina program. On hold pending Waterfront Committee decision. Metal railing was shored up in 2015. Still needs to be replace for ~\$5,000.	Facilities	Done for now
24	DPW Building Interior Repairs	2018	0	25,000	Capital Borrowing	Services	Repairs to the building interior including conversion of the former Intern quarters and dayroom to meeting or office space. Includes repurposing offices and storage space for DPW office, Forester office and historic file storage.	Facilities	
25	Repair Roof at Community Center	2018	0	50,000	Capital Borrowing/ Pool Fund/General Fund-Operating	Services/ Pool	Portion of expense to be shared by Pool (50/50). Minor repairs completed in 2015, major repairs should be done in 2-3 years.	Facilities	Done for now
26	Demolition of Scout Shack build park pavillion	2018	0	0	Donations	Parks/ Recreation	If cold storage built, fireworks equipment stored in Scout Shack could be relocated. Demolish building in favor of a simple park pavillion. Est. cost \$50K.	Facilities	
27	Leaf picker	2018	0	40,000	Capital Borrowing	Services	Replaces 1999 model, worth ~\$1,000.	Equipment	
28	Completion of bike path south of Marshall Court	2018	0	311,000	Capital Borrowing	Board	TID 3 - University Station to University Bay Drive. Portion of work may be done in 2017. Partially reimbursed by PARC grant.	TID	TID 3
29	Marshall Court: Street & Utility Improvements	2018	0	850,000	Capital Borrowing	Board	TID 3 - Extend water and sewer from Arbor Crossing west to railroad tracks. Improve streetscape, road, etc. with utilities.	TID	TID 3
	Subtotal 2018		0	1,304,000					
30	Roof top air handling unit at Village Hall	2019	0	20,000	Capital Borrowing	Services	Maintenance, expected life on units installed in 1997.	Facilities	
31	Squad car	2019	0	30,500	General Fund-Operating	Public Health & Safety	Two Year rotation of vehicles. Includes equipment.	Equipment	
32	Mid-sized plow	2019	0	55,000	Capital Borrowing	Services	Replaces 2008 model, worth ~\$4,000.	Equipment	
	Subtotal 2019		0	105,500					
33	Boiler at Community Center	2020	0	100,000	Capital Borrowing/ Pool Fund	Services/ Pool	Installed in 1996. Expense to be shared 25/75: Village/Pool.	Facilities	
34	Restain/paint Village Hall	2020	0	15,000	General Fund-Operating	Services	Maintenance.	Facilities	
35	Tallyho booster station - replace pump (1 of 3), repaint	2020	0	25,000	Water Utility	Public Works	Paid for by water utility. The two other pumps have been repaired or replaced in recent years (Est. 25 year life)	Facilities	
36	Bobcat all terrain vehicle	2020	0	18,000	Capital Borrowing	Services	Replaces 2008 model, worth ~\$1,000.	Equipment	
37	Toro 4wd snow machine	2020	0	49,500	Capital Borrowing	Services	Replaces 2008 model, worth ~\$10,000.	Equipment	
	Subtotal 2020		0	207,500					
38	Full-size dump truck	2021	0	105,000	Capital Borrowing	Services	Replaces 2001 model. Becomes full-time leaf truck.	Equipment	
39	Toro zero-turn mower	2021	0	19,000	Capital Borrowing	Services	Replaces 2012 model, worth ~\$3,000.	Equipment	
	Subtotal 2021		0	124,000					
40	Forester's Truck	2022	0	45,000	Capital Borrowing	Services	Replaces 2008 Truck #3	Equipment	
41	Sewer Jeter w/TV Camera	2022	0	124,000	Capital Borrowing	Services	Replaces 2010 Sewer Jeter	Equipment	
42	Street Sweeper	2022	0	200,000	Capital Borrowing	Services	Replaces 2007 Elgin Street Sweeper	Equipment	
43	Widening East Side of Univ. Bay Drive	2022	0	850,000	Capital Borrowing	Board	TID 3 r 6 - Work to be in conjunction with redesign of University Avenue / UBD bike overpass project	TID	TID 3 or 6
44	Univ. Ave Reconstruction (Shorewood to Campus Dr)	2022	0	2,500,000	Capital Borrowing	Board	Est. range \$2-3M. Village to incur design costs up to ~\$500K beginning in 2017.	TID	TID 3 or 6
	Subtotal 2022		0	3,719,000					
45	Community Center/Pool	2025	0	1,500,000	Capital Borrowing/ Pool Fund/General Fund-Operating	Pool	Reason: Becoming obsolete. Limited accessibility. Locker room/ showers renovation (Est. range \$0.5-2.0M)	Facilities	
46	DPW Building	2025	0	1,500,000	Capital Borrowing	Services	Reason: Building underutilized, garages overcrowded, operational deficiencies. (Est. range \$0.5-2.0M).	Facilities	
	Subtotal 2025		0	3,000,000					
	COLUMN TOTALS		1,251,800	9,654,500					

SEWER RATE COMPARISON

CURRENT SEWER RATES EFFECTIVE April 1, 2011 (per Board resolution)

	CURRENT RATES	PROPOSED RATES
USAGE CHARGE:	\$2.68 per 100 cubic feet	\$3.19 per 100 cubic feet
FIXED CHARGES		
5/8 inch meter	\$27.25	\$32.43
3/4	37.47	44.59
1	45.98	54.71
1 ½	55.35	65.87
2	76.64	91.20
3	132.64	157.84
(most residents have 5/8" meters)		

AVERAGE RESIDENTIAL WATER & SEWER BILL (Quarterly)

	CURRENT RATES	PROPOSED RATES
Water Usage	\$124.73	\$187.10
Water Fixed Charge	21.14	31.71
Sewer Usage	93.37	111.11
Sewer Fixed Charge	27.25	32.43
Stormwater Charge	27.50	27.50
TOTAL	293.99	389.85

MINUTES OF THE FINANCE COMMITTEE VILLAGE OF SHOREWOOD HILLS

Monday, July 11, 2016

(to be scheduled for review at the next meeting of the Finance Committee)

1. The meeting was called to order at 5:32 pm.
2. Roll call: Committee members present were Chair/Village Trustee Fred Wade, Village President Mark Sundquist, Village Treasurer Sean Cote, Gard Strother and Karl Wellensiek. Carl Gulbrandsen arrived a few minutes late. Dave Ahmann was excused. Others present were Village Administrator Karl Frantz and Vicki Hellenbrand of Baker Tilly.
3. Meeting Notice: Karl Frantz confirmed compliance with the open meetings law.
4. Approval of Minutes: Motion to approve the draft minutes of the Committee's meeting on June 20, 2016 by Sean Cote and second by Gard Strother. Motion passed (5-0).
5. Report and Recommendation on Village Water Rate Case

Ms. Hellenbrand reported on the status of the Village Water Rate Case. She noted that the case has been scheduled for a hearing on July 26 and that a decision may be expected two weeks after the hearing, if the proposed rate increase is not contested.

Ms. Hellenbrand reiterated her previous recommendation that the Village accept the rate that the Public Service Commission (PSC) is willing to approve, but also recommended that the Village file a second rate case asking for relief with respect to the amount of the Public Fire Protection fee (PFP) that the Village would be required to pay. In this context, she noted that the PSC staff has prepared a report, that has not yet been submitted to the PSC, with two options for changes that: (1) could help the Village deal with the PFP issue; (2) the PSC staff thinks are good ideas.

She added that the cost of filing a second rate case would be minimal, perhaps \$1,000 or less.

Mark Sundquist moved that the Committee recommend to the Village Board that the Village file a supplemental rate case with the PSC to address the PFP issue, at a cost not to exceed a few thousand dollars. The motion was seconded by Karl Wellensiek. After some further discussion, the Motion passed (6-0).

6. Report and Recommendation on Village Sewer Rates

Ms. Hellenbrand also reported on the need and status of a proposed increase in the Village sewer rates. She noted that the Village has not increased rates for a number of years, and that there are two factors that require higher rates: (1) the Madison Metropolitan Sewer District (MMSD) has been increasing charges from 3 to 6% each year; and (2) the debt service of the Water Utility has increased as a result of replacing many of the Village sewers.

Ms. Hellenbrand recommended that the Village increase its sewer rates by 19%. She added that sewer rates are not regulated by the PSC, and that the increase is a decision for the Village Board.

Ms. Hellenbrand also recommended that the Village adopt a Purchase Treatment Adjustment Clause (PTAC), which would allow the Village to pass through future rate increases without the need for the Board to adjust the rates on an annual basis.

Mark Sundquist moved that the Committee recommend to the Village Board that the Village Sewer Utility initiate a 19% rate increase, effective for the fourth quarter of 2016, and that it also adopt a PTAC to permit future MMSD rate increases to be passed through to ratepayers, beginning in 2017.

During discussion of the motion, Karl Wellensiek emphasized that the Village should hold a hearing and give ratepayers notice of the proposed increases. The consensus of the Committee was that notice should be placed in the Village Bulletin in addition to any other notice that may be required. The Motion passed (6-0).

7. Report on Village Capital Plan and Financing

Village Administrator Karl Franz reviewed a five year projection of the capital needs of the Village, which was updated as of July 8, 2016. He also discussed potential financing of the items discussed. No Committee action was required.

8. Report on Village Revaluation

Karl Franz advised the Committee that the Village Board has decided to request proposals for a full revaluation of the Village, which would require assessor inspection of each property. He is working with Fred Wade to prepare the request for proposals, and was hopeful it could be issued next week. No Committee action was required.

9. Next Meeting Dates

The Committee agreed no meeting would be necessary in August. The next meeting dates will be September 14 and 28, at 5:30 pm, when the Committee will begin work on preparation of the Village General Fund budget.

10. Adjourn

The meeting was adjourned at 7:01 pm.

**VILLAGE OF SHOREWOOD HILLS
RESOLUTION NO. R-2016-8
US BIKE ROUTE 30 SUPPORT**

WHEREAS, bicycle tourism is a growing industry in North America, contributing \$47 billion a year to the economies of communities that provide facilities for such tourists; and

WHEREAS, the American Association of State Highway and Transportation Officials (AASHTO) has designated a corridor crossing Wisconsin to be developed as United States Bike Route 30 (USBR 30); and

WHEREAS, the Wisconsin Bicycle Federation and the Adventure Cycling Association, with the cooperation of Wisconsin Department of Transportation and other stakeholders, have proposed a specific route to be designated as USBR 30, and

WHEREAS, the proposed route for USBR 30 comes through the Village of Shorewood Hills and can therefore provide a benefit to our residents and businesses, and

WHEREAS, we have investigated the proposed route and found it to be a suitable route and desire that the route be designated so that it can be mapped and signed, thereby promoting bicycle tourism in our area;

WHEREAS, the posting of signs for said route may be authorized at a later date after Village review of requested locations;

THEREFORE, BE IT RESOLVED, that the Village of Shorewood Hills hereby expresses its approval and support for the development of USBR 30, and requests that the appropriate officials see to it that the route is officially designated by AASHTO as soon as this can be achieved

ADOPTED by the Village of Shorewood Hills Board at a duly scheduled meeting on July 18, 2016.

Mark L. Sundquist, Village President

Colleen Albrecht, Village Clerk

Memo

To: Administrator Frantz/Village Board
From: Chief Dennis Pine
Date: June 6, 2016
Re: L-3 Camera System

Background: In 2015, it was brought to my attention that we should start thinking about replacing our stand-alone computer that stores all of our squad videos. At that point, I budgeted in my 2016 Budget year to replace our stand-alone computer for video from our squad cars and include body cameras for our department. However, with the recent questions that keep resurfacing about how or where body cameras should be used, I have decided to delay the purchase of the body cameras until more data is received. I also attended the Attorney General's (AG's) Conference this past year, where they offered breakout sessions on body cameras; the good and the bad. From the AG Conference breakout session, I learned that a large number of police departments are waiting to see what happens across the state concerning the use of body cameras. So with that said I have decided to take a step back from purchasing body cameras at this time.

Information on repairs in the past year: We have had some major issues with downloading from the squads and accessing the system for the data. Computer Magic has been able to work with L3 computer techs to repair the issues that we had been experiencing. Our biggest problems so far have been our access point and storage issues. In November 2015 to February 2016 we have spent a total of \$1200.00 on repairs to the system to keep it operational.

Our department is currently running three L-3 Mobile Vision systems for its in-car cameras. This system is used throughout an officer's shift to record traffic violations, calls for service, emergency responses, and other events that are helpful to have for court and officer complaints. Each recording is titled and categorized using the following titles: Citation, No Citation, Arrest, OWI, Detox, and Test. Each of these categories has a preset retention period that meets or exceeds department policy and Wisconsin State Statutory requirements of how long we have to retain the videos. No Citations is 90 days, Citations is one year, OWIs is 10 years, Arrests 10 years, Detox 1 year and Tests is 1 day.

These recordings are currently stored on a regular stand-alone computer tower that we purchased in 2012, which has reached its storage capacity. According to consultant Tom Breuer of Computer Magic, we currently average about 600GB-700GB of video data per year. As of May 2, 2016, we have 1.6TB of video data on our system with our current storage capacity of 2TB. We have approximately 400GB of free space available on the current system. With this foreseeable storage shortfall, we are looking to increase our storage capacity and upgrade our current storage system.

We are looking to replace our current stand-alone computer tower with a network based video storage server. The server will increase our storage capacity from 2TB of storage to 5TB of storage. Roughly 1.42TB of existing video data will need to be transferred over onto the new server leaving 3.5TB of free space available. If we continue to average around 700GB of video data per year, we should have enough storage capacity to last us approximately five years. If at that time we require more space, additional TB's can be added for future needs.

Thank you for your consideration of this very important matter.



Mobile-Vision, Inc.

new

QUOTE

400 Commons Way, Rockaway, NJ 07866
T. 973-453-8582 F. 973-257-3024

Number 205350564
Date June 14, 2016

Sold To

Shorewood Hills Police Department
Dennis Pine
810 Shorewood Blvd.

Ship To

Shorewood Hills Police Department
Dennis Pine
810 Shorewood Blvd.

Madison, WI 53705

Madison, WI 53705

Phone 608-445-7447

Phone 608-445-7447

Fax 608-266-5929

Fax 608-266-5929

Salesperson	P.O. Number	Ship Via	Terms
Len Wilson		None	

Line	Qty	SKU	Description	Unit Price	Ext.Price	Comments
1	1	LSMVDT710	Dell Power Edge Intel E5-2609-V3. Dual Quad Core Tower, with storage, monitor, keyboard, mouse, 4 Ethernet Ports, USB Card reader, Dell Power Connect 2808, and 2 Ethernet patch cables. 10TB Storage	\$8,645.00	\$8,645.00	
2	1	LSMVDDVDDL141	DVD Backup Robot with attached Workstation: 100 Disk Capacity	\$3,995.00	\$3,995.00	
3	3	LSSWRPRODVR	Software, digital Evidence PRO per DVR Digital Evidence Software Includes: Base Module, Intelligent Downloading Module, Archiver Module, Case Module, Consumer DVD Module	\$248.50	\$745.50	
4	1	MVD-AP-AN-IN	Kit, Indoor AP-802.11n over a or g. Includes antenna, POE injector, POE converter	\$749.00	\$749.00	
5	1	MVD-TRAN-OPS	On site professional services	\$2,125.00	\$2,125.00	
6	1	MVD-DES-BTO-EOL	OS/DES SWR Installation on EOL Servers & Data Migration	\$750.00	\$0.00	

Includes 30 minutes of training on back office software changes. Migration of approximately 500 GIGS of data.

Signing below is in lieu of a formal Purchase Order.
Your signature will authorize acceptance of both pricing and product:

Signed: _____ Dated: _____

L-3 Shipping Terms are FOB Rockaway, NJ. By signing below you agree to waive your shipping terms and ship this order FOB Rockaway, NJ.

Signed: _____ Dated: _____

SubTotal	16,259.50
Tax	TBD
S&H	100.00
Total	16,359.50

Quotation is valid for 60 days from date issued. The technology described herein is controlled under the Export Administration Regulation (EAR) and may not be exported without proper authorization by the U.S. Department of Commerce. State/Local Fees and Taxes are not included.

Village of Shorewood Hills
Personnel Committee
Draft Meeting Minutes
Tuesday, May 31, 2016

Call to Order Personnel Committee Chairperson John Imes called the meeting to order at 7:07 a.m. Present were Mr. Imes and Committee members Erica Moeser, Paula Hogan, David Vitse, Mary Gulbrandsen, Anne Readel and Amy Neeno-Eckwell. Village Administrator Karl Frantz and Detective Sergeant Corey Denzer were also in attendance.

Note compliance with open meeting law Mr. Frantz confirmed the meeting had been properly posted and noticed.

Approve previous meeting minutes Ms. Moeser moved and Ms. Readel seconded a motion to approve the minutes of the Personnel Committee meeting of April 18, 2016. Motion passed unanimously.

CSO Hire Ms Hogan seconded by Ms Moeser moved to recommend the seasonal CSO hire of Tyler Eldridge. The motion passed unanimously.

Seasonal Basketball hires Ms Hogan seconded by Ms Moser moved to recommend the hire of seasonal basketball program employees. The motion passed unanimously.

Presentation of report, discussion and possible recommendations regarding Village compensation plan and police officer pay Chairperson Imes introduced the topic. He stated the purpose of the meeting was for the Committee to be provided an overview of the report that had been completed by Amy Neeno-Eckwell and begin discussing next steps, but that action was not expected to occur at this meeting. Committee members commended Ms Neeno -Eckwell on the comprehensive, objective, data driven report. She then presented the report to the Committee. Over twenty five Dane County communities were asked by Chief Pine to provide police contracts. Ten communities responded and data from each was used to develop the analysis.

There was extensive discussion held by the Committee. The general consensus was that there is little doubt that Village compensation of its police patrol officers is low, no matter what metrics and comparisons were being used, and there was a fundamental matter of fairness that should be addressed. However the Committee felt that they needed direction from the Board before proceeding with any recommendations. The Committee decided that the report should be provided to the Board at their June 27 meeting and Ms Neeno-Eckwell agreed to attend that meeting and present the report. The Committee will then again take the matter up at its meeting on July 6.

The meeting was adjourned at 8:15 a.m.

Respectfully submitted,

Karl Frantz
Village Administrator

**Village of Shorewood Hills
Services Committee
Draft Minutes of the Meeting of July 14, 2015**

Preliminary Matters

1. The meeting was called to order at 3:37
2. Trustee Fred Wade, Bill Munkwitz, Georgene Stratman and Bill Muehl were present. Jerry Stein and David Logan arrived after the meeting began. Charlie Field was absent. The meeting was also attended by Village Administrator Karl Franz, Village Engineer Brian Berquist and Village Consultant Rod Holt.
3. Karl Franz noted compliance with the Open Meetings Law.
4. On a motion by Jerry Stein, and a second by Bill Munkwitz, the Committee approved the minutes of its two prior meetings, one on December 15, 2015, and the other on June 9, 2016. The motion was approved 4-0, with one correction to the minutes of June 9, which consisted of the deletion of a reference to possible storage of fireworks on the mezzanine of the proposed storage facility on Old Middleton Road.
5. **Status Report on Proposed Storage Facility on Old Middleton Road**

Estimated Costs

Brian Berquist handed out revised cost estimates for site work and construction of the proposed storage facility, with a total low end cost estimate of \$538,167 and a high end cost estimate of \$600,867.

The proposed building shell would consist of five 20 foot wide modules, four with overhead bay doors, and one with a standard door for personnel. It would be 60 feet deep, resulting in a facility that would have 6,000 square feet of storage capacity

Brian said that he had made minor changes in the design. He added some dry laterals and some bollards to protect the entrances to the proposed bays of the facility.

The major cost components of the proposed storage facility are:

- a. Building Shell cost range from \$270,000 to \$300,000
- b. Site Work cost of about \$97,000
- c. Plumbing and Electrical cost range from \$48,000 to \$66,000
- d. Interior Finish cost range from \$30,000 to \$37,500
- e. Retaining Wall cost, to support the north side foundation, of \$20,000
- f. Engineering and Architecture cost of \$23,399
- g. Contingency ranging from \$46,797 to \$52,497

The Committee was informed that, to the extent a range of costs is indicated, the range reflects choices that the Village could make, and the fact that the bid climate is influenced by a mini boom in the construction industry. It was noted that bids might come in lower if the Village did not require completion within a specified time, so that the contractor could stretch out the work and be able to bid a lower price without fear of overtime costs or penalties.

Timing of Bids

In discussing the timing of a potential request for bids, Karl Franz indicated that the Village should request bids in November, December or January to get good bids for next year. Rod Holt added that once ordered, it would take 6 to 8 weeks for the building materials to show up at the site, although site work could begin during that period.

Potential Cost Reductions and Concerns

The Committee proceeded to a discussion of how the cost of the facility might be reduced.

Electrical wiring would be necessary in any event to permit operation of the overhead doors for the bays. The reduction or elimination of windows could provide some minimal savings, but would create a need for increased lighting.

If the proposed facility is constructed closer to Old Middleton Road to reduce the need for the retaining wall, the Village would have to cut down a tree that is worth preserving, would lose surface parking area, and would still need a retaining wall of about four feet. The savings would be minimal as a percentage of the \$20,000 estimate for the cost of an eight foot retaining wall.

The best option for a significant cost reduction would be the elimination of one or two of the bays or modules. The elimination of one bay could cut 15 to 20% of the cost of the building shell, perhaps in a range of \$40 to \$60,000. However, the Committee appeared to have a consensus the result would not meet the needs that the staff has identified, and that the bay or bays would have to be added at a later time when both the costs and interest rates are likely to be higher than they are now.

In this context, Bill Muehl noted that the repair and maintenance work that is now performed at the DPW building on Shorewood Boulevard could run afoul of new code or regulatory requirements, and require that some of that work be shifted to the new facility. He cautioned against building the new facility too small. He also noted that we have been hurting for space since a 2003 study of DPW facilities recommended a cold storage facility of 6,000 square feet (The study, which was distributed to the Committee before the meeting, also recommended a new 5,200 square foot facility for vehicle maintenance, and a new vehicle and equipment storage facility “of approximately 12,320 square feet,” in addition to a new cold storage facility, unless the Village decided to use “the existing garage facility as the cold storage facility”).

The option of a post frame building, rather than the steel frame construction that is proposed, would probably save less than \$100,000, and would result in a building that is less functional and would not last as long before it needed to be replaced. Jerry Stein said it would be like putting up a pole barn, and another comment added it would look like a barn. Rod Holt stated that, in his view, it would be “pretty-short-sighted.”

6. Discussion of Needs for Other Village Facilities

Shorewood Boulevard

The Committee proceeded to a discussion of the Shorewood Boulevard facility. The view was expressed that there should be improvement in air handling in the garage area, to permit exhaust to be discharged, and to bring fresh air in. There is also a concern that space limitations do not always permit parts and equipment to remain spread out during repairs and maintenance until the task is completed. Apart from these concerns, Bill Muehl said he didn't see much that EMS and the crew can't do in the garage portions of the facility.

With respect to the Old Village Hall portion of the facility, Bill Muehl expressed the view that there should be more meeting rooms available. Jerry Stein said that some carpentry and lighting improvements could be made in the old Village Board Room, and the old Village Hall Office, but these would be cosmetic and not require a large outlay. Bill Muehl thought that we should prepare additional space for use as meeting rooms.

Community Center

On the Community Center, the Chair asked the Committee members to inform him about past plans for the Community Center, and state what they thought ought to be done. A consensus emerged that the building is inadequate, that it should be torn down at some point and replaced, and that the Village should not invest in improvements in the meantime, because a new and different facility is needed.

Karl Franz noted that usage has declined, but that is in part because it is no longer being rented to outside groups for wedding parties. He added that the Center generates four to five thousand dollars of revenue, but that \$3,000 of that total comes from the summer drama program. Jerry Stein noted that we have not been publicizing or marketing the availability of the Community Center for some time.

Shortcomings of the existing facility were noted, including inadequate parking, lack of an elevator, lack of handicap accessible rest rooms, an inadequate kitchen, a poor floor plan, a lack of architectural interest, and a problematic equipment room in the basement of the facility.

Jerry Stein stated, near the end of the discussion, that it would be cheaper to tear the building down and start over.

Trustee Wade noted that the Village will be constrained for the next 8 to 10 years by an internal policy that limits the amount that the Village may borrow for capital needs. He added that, as a result, there are four options with respect to the Community Center that the Village Board will have to consider:

- a. Keep the existing facility and make only minimal repairs
 - b. Keep the facility and invest minimal upgrades (eg. an elevator and new bathrooms)
 - c. Tear down the facility, and allow the pool to construct a new facility for the pool alone;
and
 - d. Tear down the facility and replace the community center, perhaps with ground level building adjacent to or near a new facility for the pool
7. The Committee did not set a date and time for its next meeting.
 8. On a motion by Jerry Stein, and seconded by Georgene Stratman, the Committee voted 5-0 to adjourn at 5:28 pm.

Respectfully submitted,

Fred Wade