

VILLAGE OF SHOREWOOD HILLS
DANE COUNTY, WISCONSIN

ORDINANCE NO. L-2017-1

AN ORDINANCE CREATING SECTION 7.17 OF THE
VILLAGE OF SHOREWOOD HILLS MUNICIPAL CODE

RECITALS

A. The Village Board is committed to protecting the health, safety, and welfare of pedestrians and drivers in the Village, and ensuring the free flow of traffic with the Village.

B. The primary purpose of peedestrian refuge islands and medians are to enhance the safety of and free flow of traffic on highways by separating opposing lanes of vehicular traffic, channeling traffic for turning purposes, and, in some cases, providing a temporary refuge for pedestrians crossing busy and/or wide highways.

C. Village staff has compiled three reports (Exhibit 1: 2016 Calls for Service, Exhibit 2: 2016 Calls for Service Summary No Chart, and Exhibit 3: 2016 Accidents at the Following Intersections) that indicate certain intersections, identified as Covered Intersections, which experience significant accident rates, significant numbers of calls for police services and significant numbers of traffic stops.

D. Village staff also has identified certain intersections, identified as Covered Intersections, which experience significant volumes of traffic and significant speeds.

E. Prolonged pedestrian use of such Covered Intersections poses a safety hazard to the user and passing motor vehicles and can inhibit the free flow of traffic.

F. The Village Board finds it is in the best interests of the public health, safety, and welfare to adopt this Ordinance to protect pedestrians and motorists on Covered Intersections.

ORDINANCE

The Village Board of the Village of Shorewood Hills, Dane County, Wisconsin, ordains as follows:

1. Section 7.17 of the Municipal Code of the Village of Shorewood Hills is created as follows:

7.17 Entering or Staying Upon Highways Restricted.

(1) **Purpose.** ~~Pedestrians are increasingly using highways in ways for which the roads were not designed. These uses include approaching vehicles when in use or staying upon Pedestrian Refuge Islands for purposes other than crossing the highway. These activities create safety hazards for pedestrians and distract drivers, making automobile crashes more likely.~~ This ordinance is designed to decrease the safety hazards by regulating pedestrians faced by pedestrians and motorists. These safety ~~concerns-hazards~~ are most acute on the busiest streets within the Village of Shorewood Hills, defined as Covered Intersections.

(2) **Definitions.** As used in this ordinance,

(a) “Covered Intersection” is defined in sub. (7).

(b) A vehicle is “in operation” when it has an operator, as defined in Wis. Stat. § 340.01(41).

(c) “Median” is the area that lies between and divides two opposite directions of a divided highway and is not intended for vehicular travel.

(3) No pedestrian shall be on a Median within 200 feet of a Covered Intersection and approach any vehicle in operation, except a vehicle that is legally parked at the curb or the shoulder.

(4) No pedestrian shall remain upon a Median within 200 feet of a Covered Intersection through two consecutive opportunities to cross the highway in a legal manner under this Chapter and the state traffic laws adopted herein. This may include a change in the traffic control signal or lack of traffic, as applicable. After such two consecutive opportunities, such person shall not be considered to be “using the safety zone or crosswalk to cross the highway” for purposes of the exception in sub. (6)(a).

(5) No operator of a vehicle shall park, stop or leave standing a vehicle on a Covered Intersection where prohibited or suddenly decrease the speed of said vehicle or deviate from a traffic lane for the purpose of responding to persons violating subs. (3) or (4).

(6) **Exceptions.** This Ordinance does not apply to (a) pedestrians using the safety zone or crosswalk to cross the highway; (b) persons engaged in law enforcement or rescue activities, including providing assistance to an injured or disabled vehicle or person;

(c) persons entering a vehicle as an invited passenger where it is lawful to do so, including activity permitted under Wis. Stat. § 346.29(1) (taxis); (d) persons engaged in repair or maintenance activities on the highway under the direction or authority of the Village of Shorewood Hills or the State of Wisconsin; or (e) streets or portions thereof that have been closed pursuant to a street use permit or other express authorization from the Village.

(7) **Covered Intersections.** This ordinance applies only to Covered Intersections, the portions of highways within the Village of Shorewood Hills that have the most traffic, listed as follows (refer to attached map):

- (a) University Avenue and Rose Place
- (b) University Avenue and Shorewood Boulevard
- (c) University Avenue and Highbury Road
- (d) University Avenue and Marshall Court
- (e) University Avenue and University Bay Drive

(8) **Penalty.** Any person violating this ordinance may be required to forfeit not less than twenty-five dollars (\$25) nor more than three hundred dollars (\$300). Officers are encouraged to provide a warning for a first offense.

2. This Ordinance shall take effect upon passage and publication pursuant to law.

The above and foregoing ordinance was duly adopted by the Village Board of the Village of Shorewood Hills at its meeting held on _____, 2017.

APPROVED:

Dave Benforado, Village President

ATTEST:

Colleen Albrecht, Village Clerk

Exhibit 1

2016 Calls for Service at the following intersections Summary no chart

University / Rose, University / Highbury, University / Joyce Erdman, University / Shorewood, University / Marshall, University / University Bay

Intersection	Totals
Highbury / University	9
Marshall / University	5
Rose / University	9
University / Highbury	42
University / Rose	30
University / Shorewood	70
University / University Bay	102
University Bay / University	18
	285

Exhibit 2

2016 calls for service at following intersections

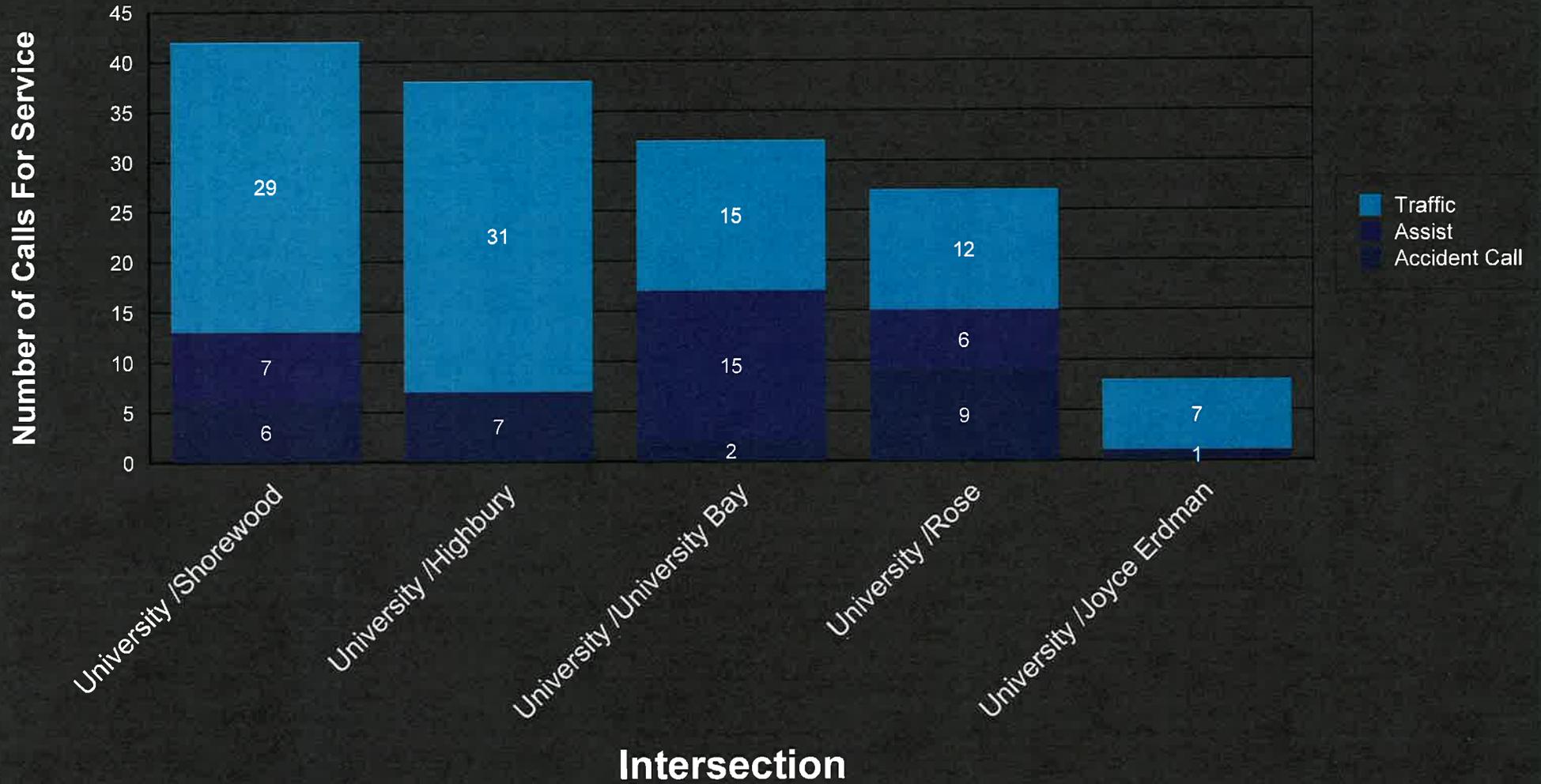
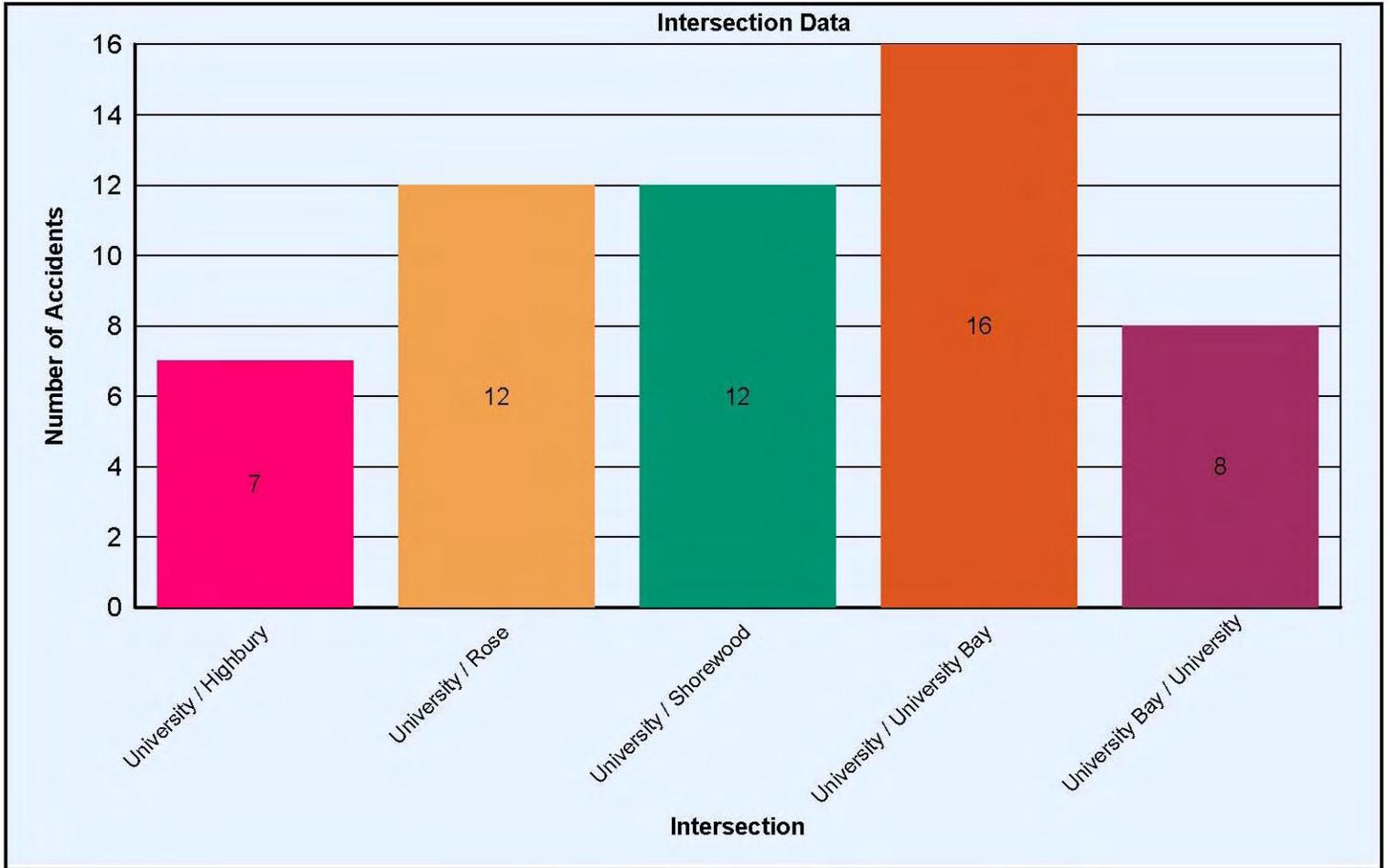


Exhibit 3

2016 accidents at the following intersections

University / Rose, University / Highbury, University / Joyce Erdman, University / Shorewood, University / Marshall, University / University Bay



VILLAGE OF SHOREWOOD HILLS
DANE COUNTY, WISCONSIN

ORDINANCE NO. L-2017-2

AN ORDINANCE CREATING AND RENUMBERING SEC. 17.06(10)(A)9. AND 10.
OF THE VILLAGE OF SHOREWOOD HILLS MUNICIPAL CODE

The Village Board of the Village of Shorewood Hills, Dane County, Wisconsin, ordains as follows:

1. Section 17.06(10)(a)9. and 10. of the Municipal Code of the Village of Shorewood Hills is created and renumbered as follows:

17.06 Licensing of Dogs and Cats; Regulation of Pets.

(10) *Restriction on Keeping of Pets.*

(a) No person having the possession or ownership of a pet shall:

9. Allow a pet to habitually be on another person's property without permission from the property owner.

109. Have an unlicensed dog or cat, except in accordance with section 17.06(7)(a)9.

2. This Ordinance shall take effect upon passage and publication pursuant to law.

The above and foregoing ordinance was duly adopted by the Village Board of the Village of Shorewood Hills at its meeting held on _____, 2017.

APPROVED:

Dave Benforado, Village President

ATTEST:

Colleen Albrecht, Village Clerk

VILLAGE OF SHOREWOOD HILLS
DANE COUNTY WISCONSIN

ORDINANCE NO. L-2017-3

AN ORDINANCE AMENDING SECTION 7.08(2) OF THE VILLAGE CODE OF ORDINANCES
RELATING TO PARKING

The Village Board of the Village of Shorewood Hills, Dane County, Wisconsin, ordains as follows:

1. Section 7.08(2) of the Municipal Code of the Village of Shorewood Hills is amended as follows:

7.08 Parking, Stopping, and Standing Regulated.

(2) No parking. No owner or operator of a motor vehicle may permit the same to stop, to be parked or to be left standing, upon any portion of the following streets at the following locations, except temporarily for the purpose of and while actually engaged in loading or unloading or in receiving or discharging passengers and while the motor vehicle is attended by a licensed operator so that it may be promptly be moved in case of an emergency or to avoid obstruction of traffic:

- On Beloit Court during the hours of 6:00 am to 7:00 pm (excluding Saturdays, Sundays, and holidays) except by resident permit;
.....
- Along the West side of Edge Hill Drive between Edge Hill Parkway to Lake Mendota Drive.

2. This Ordinance shall take effect upon passage and publication pursuant to law.

The above and foregoing ordinance was duly adopted by the Village Board of the Village of Shorewood Hills at its meeting held on _____, 2017.

APPROVED:

Dave Benforado, Village President

ATTEST:

Colleen Albrecht, Village Clerk



For Office Use:	Date	Referred to Plan Comm/Board	Date
Application given by _____	<u>6/20/17</u>	Public Hearing Set	<u>6/20/17</u>
Received by Zoning Administrator	<u>6/20/17</u>	Date Notices Mailed	<u>6/30/17</u>
Fee received by Clerk	<u>6/20/17</u>	Public Hearing Published	<u>6/20/17 + 7/3/17</u>
Zoning Certified	<u>6/20/17</u>	Public Hearing Held	<u>7/11/17</u>
Filed with Clerk	<u>6/20/17</u>	Final Action	
Referred for Staff Review			

Village of Shorewood Hills
 810 Shorewood Boulevard
 Madison, WI 53705-2115
 (608) 267-2680 phone
 (608) 267-5929 fax

APPLICATION FOR CONDITIONAL USE PERMIT
 (A non-refundable \$350 fee must accompany this application upon filing)

FOR OFFICE USE ONLY
 Receipt # 25947

Date of Petition: JUNE 20, 2017

The undersigned, being all the owners of the real property covered by this conditional use request hereby petition the Village of Shorewood Hills as follows:

- Name and address of each owner: (Please attach additional pages as necessary)
CLIENT: LINDA & ANTHONY GRANATO SITE ADDRESS: 3616 LAKE MENDOTA DR.
CURRENT 1303 EDGEHILL DRIVE.
ADDRESS, MADISON, WI 53705
- Name and address of applicant if not an owner. Describe interest in site (if tenancy, attach copy of current lease):
CONTRACTOR / LANDSCAPE DESIGNER: MATTHEW R. WIENEKE
N5112 LTV RD A
JUNEAU, WI 53039
- Address of site: 3616 LAKE MENDOTA DR., MADISON, WI 53705
- Tax parcel number of site: R13
- Accurate legal description of site (state lot, block and recorded subdivision or metes and bounds description) (Attach copy of owner's deed):

- Present zoning classification: R-3
- Requested conditional use: TO INSTALL A NEW STAIRCASE TO BOAT HOUSE & PATIO, REMOVAL OF UNDESIREABLE VEGETATION, SLOPE STABILIZATION AND NATIVE PLANTINGS.
- Brief description of each structure presently existing on site: CURRENTLY THE ONLY STRUCTURE IS A BOAT HOUSE.

9) Brief description of present use of site and each structure on site: CURRENTLY THE LOT IS VACANT WITH THE ONLY STRUCTURE BEING A BOAT HOUSE.

10. Brief description of any proposed change in use of structures if request for conditional use is granted (include change in number of employees on site): ADD NEW STAIRCASE FROM UPPER LOT TO BOAT HOUSE. OVERLAY BRICK OR STONE TO THE TOP OF BOAT HOUSE, AND INSTALL BOLLARDS ALONG STAIRCASE.

11. The following arrangements have been made for serving the site with municipal sewer and water:
N/A

12. Name, address, and tax parcel number of the owners of each parcel immediately adjacent to the boundaries of the site and each parcel within 200 feet including street and alley right-of-way of each exterior boundary of the site:

13. A scale map or survey map must be attached showing the following:

- a. Location, boundaries, dimensions, uses, and size of the site and structures and its relationship to adjoining lands.
- b. The approximate location of existing structures on the site, easements, streets, alleys, off street parking, loading areas and driveways, highway access and access restrictions, existing street, side and rear yards, proposed surface drainage, grade elevations.

14. State in detail, the evidence indicating proof that the proposed conditional use shall conform to each of the standards for conditional uses set forth in section 10-1-108 of the Village Zoning Code.

WHEREFORE, the undersigned property owners hereby state that the foregoing information and all attachments to this Petition are true and correct to the best of our knowledge.

Dated this 20th day of JUNE, 2017.

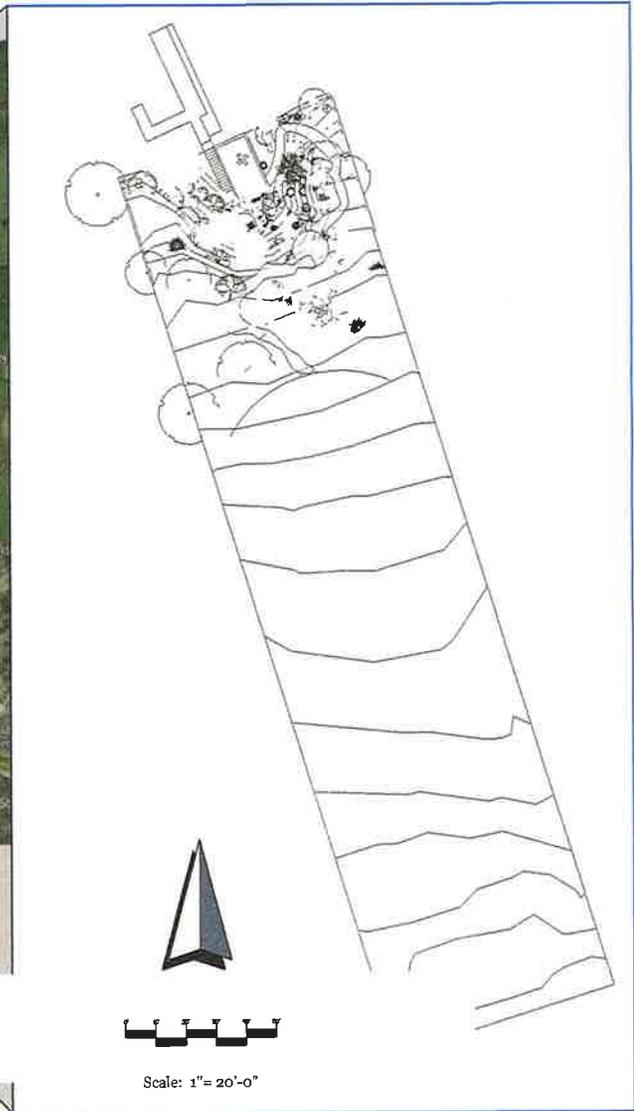
Dina M. Grunato 6/20/17
Property Owner

Torina 6/20/17
Property owner

I certify that that I have reviewed this application for completeness.

Date: _____ Zoning Administrator: _____

Print Form



Shoreline Revitalization Concept for:

**3616 Lake Mendota Drive
Shorewood Hills, WI**

Scale: 1" = 20'-0"



Scott Gear Designs
Middleton, WI
gearlandscape.com

CLIENT
3616 LMD, LLC

PROJECT
3616 Lake Mendota Drive, Madison

DRAWN BY
SG

ISSUE
06.26.17

Lo.10



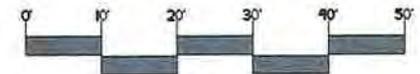
Scott Gear Designs
8727 Airport Road
Middleton, WI 53562
Tel: 608.836.8448
gearlandscape.com

CLIENT
3616 LMD, LLC
3616 Lake Mendota Drive
Madison, WI 53705

PROJECT
Shoreline Naturalization
Concept

DRAWN BY
SG

ISSUE
06.26.17



Note: Unless otherwise noted, the following will apply to all construction area

- Double line of erosion control in the form of erosion sock and/or silt fence to be installed prior to any soil disturbance. Erosion measures to extend min. 10' either direction up to lot line, wrapping up hill to prevent erosion at ends

- Make permeable steps and landings by using min. 6" clear stone as base

- Install approved railing where needed for safety

Lake Mendota

Existing Pier

Existing Concrete Steps

Existing Boathouse
- repair masonry
- resurface deck above

Bluffs along shoreline, keep large existing trees as possible per health assessment by certified arborist

Use current location of existing steps to replace with natural stone slab steps

At or above top of bank, move path away from lot line, natural stone

Protect mature oak trees on site by avoiding compaction within 1.5 times drip line

Landings/ Rest areas along stairs to frame views, use retaining boulders that double as seating

Bluffs along shoreline

Clear undesirable or invasive species such as buckthorn, sumac to open allowable buffer for access and viewing corridor

Meandering permeable stone path to blend with existing and proposes natural stone outcroppings

Soften existing lawn edge and path edge with mixed native low growing forbs, grasses and ornamentals

Any exposed soil from construction to be graded and covered with seed & mulch, use annual rye if season prohibits desired species to germinate, reseed in spring.

Move access path closer to center of lot, work with existing topography for best route with least disturbance.

- Accentuate relief with naturalistic outcroppings to match existing

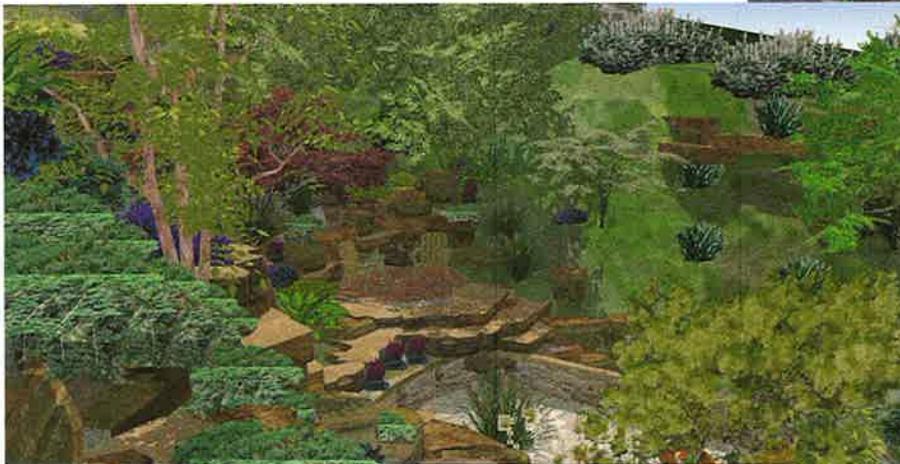
Existing Lawn



Scott Gear Designs
8727 Airport Road
Middleton, WI 53562
Tel: 608.836.8448
gearlandscape.com



Above: View of steps, from above bluff area



Above: View descending from steps of small patio behind boat house



Below: View from above boat house

CLIENT
3616 LMD, LLC
3616 Lake Mendota Drive
Madison, WI 53705

PROJECT
Shoreline Naturalization
Concept

DRAWN BY
SG

ISSUE
06.26.17

DESCRIPTION
Conceptual Perspectives

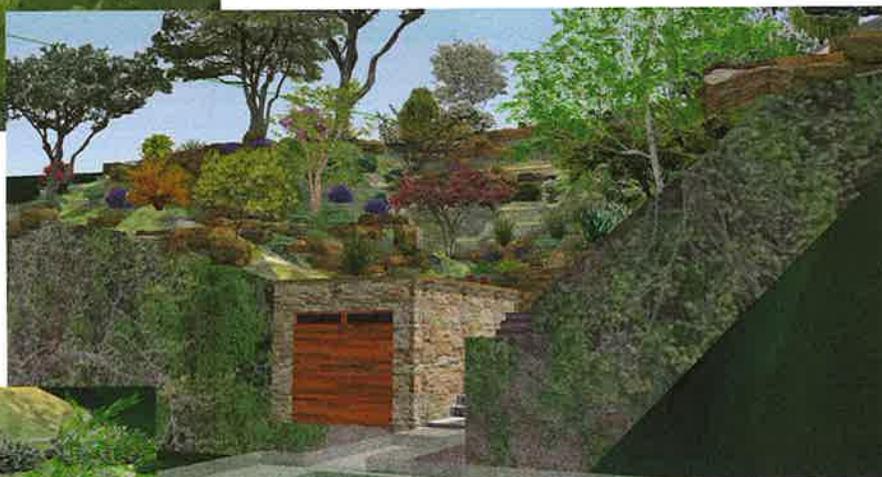
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Scott Gear Designs
8727 Airport Road
Middleton, WI 53562
Tel: 608.836.8448
gearlandscape.com



Above: Aerial view from over pier



Above: View of boat house from lake

Below: Birds eye view of boat house and steps from left



CLIENT
3616 LMD, LLC
3616 Lake Mendota Drive
Madison, WI 53705

PROJECT
Shoreline Naturalization
Concept

DRAWN BY
SG

ISSUE
06.26.17

DESCRIPTION
Conceptual Perspectives

Lo.40

July 9, 2017

Mr. Karl Frantz
Village Administrator
Village of Shorewood Hills
810 Shorewood Boulevard
Madison, WI 53705-2115
VIA Email

Dear Mr. Frantz,

We are writing in support of the conditional use permit for 3616 Lake Mendota Drive.

We are unable to attend the Plan Commission meeting on July 11, 2017 when the matter of 3616 Lake Mendota will be addressed. We have had the chance to review the plans for the proposed work. The work will enhance the property and not otherwise create a burden on the neighbors, the village or the lake.

We encourage the Plan Commission to endorse the project.

Regards,

The image shows two handwritten signatures in black ink. The first signature is 'James G. Berbee' and the second is 'Karen A. Walsh'. Both signatures are written in a cursive, flowing style.

James G. Berbee
Karen A. Walsh
3534 Lake Mendota Drive
Madison, WI 53705

Plan Commission Conditional Use Permit Review Lake Mendota Drive Projects

The Plan Commission shall forward its written advisory recommendation to the Village Board within thirty (30) days after receipt of the application from the Zoning Administrator. The Plan Commission shall recommend approval, approval subject to specified conditions, or denial. A recommendation for denial shall include the reasons, including which standards contained in the Plan Commission review are found not to be met.

Property: 3616 Lake Mendota Drive

A conditional use shall be approved under this paragraph only if the applicant demonstrates by clear and convincing evidence the following:

1. Views of Lake Mendota from points off the lot on which the development or excavation proposed will not be adversely affected. **No adverse impact on views.**
2. Erosion will not be increased. **No increase. Erosion control measures during construction subject to Village approval.**
3. The flow of surface water will not be changed so as to adversely affect other lots, the lake and other aspects of the natural environment. **No adverse change anticipated. Project subject to review and approval by Village Engineer.**
4. Infiltration of surface water into the ground will not be adversely affected. **No adverse impact.**
5. Access to properties and structures by firefighters and other emergency personnel will not be adversely effected: **No adverse impact.**

The Plan Commission shall review the application according to the standards below. No application shall be recommended for approval by the Plan Commission unless it finds that the following conditions are met:

1. That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: **True**

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

Finding: **True**

3. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district, and will not be contrary to an adopted comprehensive plan of the Village.

Finding: **True**

4. That adequate utilities, access roads, drainage and other necessary site improvements have been, are being or will be provided.

Finding: **True**

5. That the establishment, maintenance or operation of the conditional use is unlikely to increase the level of traffic congestion or reduce the level of safety at any point on the public streets.

Finding: **True**

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

Finding: **True**

7. That the conditional use does not violate flood plain regulations governing the site.

Finding: **True**

8. That, when applying the above standards to any new construction of a building, or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

Finding: **True**

The Plan Commission shall also evaluate the effect of the proposed conditional use upon:

- The maintenance of safe and healthful conditions.

Finding: **True**

- The prevention and control of water pollution including sedimentation.

Finding: **True**

- Existing topographic and drainage features and vegetative cover on the site.

Finding: **True**

- The location of the site with respect to floodplains and floodways of rivers and streams.

Finding: **True**

- The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.

Finding: **True**

- The location of the site with respect to existing or future access roads.

Finding: **True**

- The need of the proposed use for a shoreland location.

Finding: **True**

- Its compatibility with uses on adjacent land.

Finding: **True**

Any other requirements necessary to fulfill the purpose and intent of the Zoning Code of the Village of Shorewood Hills conditions required:

Compliance with:

- **Stormwater Management Ordinance**
- **Erosion Control Ordinance**
- **Noise Ordinance**
- **Dark Sky (Regulated Illumination) Ordinance**

The applicant should be aware that planned construction of a home will trigger stormwater management control compliance and that landscaping done now should take into

consideration the future need for infiltration areas, rain gardens or other stormwater management facilities in areas that may be landscaped prior to construction and may need to be modified or destroyed and replaced.

**Village of Shorewood Hills
Board of Trustees Special Work Session
Approved Minutes
Thursday, September 22, 2016 5:30 p.m.**

1. **Call to Order** Village President Mark Sundquist called the meeting to order at 5:32 p.m.
2. **Roll Call** Members of the Board present were Mr. Sundquist and Trustees David Benforado, Anne Readle, Mark Lederer, Felice Borisy-Rudin, Fred Wade and John Imes. Also in attendance were Village Administrator Karl Frantz, Police Chief Denny Pine, Department of Public Works Chief John Mitmoen and Village Clerk Cokie Albrecht. There was one visitor in the audience.
3. **Statement of Public Notice** Mr. Frantz confirmed the meeting had been properly posted and noticed.
4. **Board matters**
 - A. **Planning/needs discussion regarding Village properties and facilities**

Mr. Wade referenced Mr. Frantz's memo dated September 22, 2016 regarding the Village's debt capacity. If more borrowing were undertaken for facilities, the Village's internal debt policy may need to be revised. The Trustees acknowledged other capital needs may arise in the future, including road reconstruction, replacement of water/sewer mains and the installation of sidewalks on the west side of the Village.

The Trustees chose to discuss the Village facilities individually. Some of the comments:

Community Center/Pool

 - The Community Center is outdated. It needs to be made handicapped accessible, it requires roof repairs and cosmetic updates. Its use has dropped off.
 - There has been conversation about needed improvements to the Community Center since 1997. Kubala Washatko's plans for its renovations are beautiful but would be expensive to implement.
 - The Pool is not a year-round facility; there is significant interest in a swimming venue that is open all year.
 - What does the Village want there? The more popular/attractive the Pool and Community Center are, the greater impact on traffic and parking.
 - Idea: rearrange facilities at Post Farm Park, e.g., move the tennis courts to the parking lot, parking to Marshall Court.
 - Per Mr. Mitmoen, if the Pool were improved, all mechanicals should be evaluated.
 - What are the goals of Pool improvements? How many members does the Village want to join the Pool?
 - The Pool Committee is looking at installing a diving well on its east side, where the tennis courts are presently located.
 - Members of the Services Committee are not interested in discussing renovations to the Community Center; they feel it should be torn down and reconstructed.
 - Given current debt levels, only incremental improvements to the facility should be considered at this time.
 - Renovations to the Community Center/Pool should be considered as part of a comprehensive plan to improve all of Post Farm Park, including the possible relocation of tennis courts and rerouting of traffic.
 - Incremental repairs/improvements can be made to the Community Center until a comprehensive plan is developed.
 - The Pool Committee determined the installation of an inflatable dome over the pool for part of the year was impractical. The construction of a covered facility in the future may be possible—perhaps enclosing a new diving well/smaller pool.

- The Pool will pay off its debt in 2017 and then will have large financial capacity to make improvements.
- The Pool Committee would be willing to participate in upgrades to the Community Center. It is waiting for guidance from the Trustees to inform its thinking about whether it should concentrate on renovations to the pool facility only.
- There was concurrence that a master plan for the entire Post Farm Park is needed. The future of the Scout Shack would be part of that discussion.

Village Hall

- Chief Pine would like to see clearer separation of court and police functions and a reception area.

Department of Public Works (DPW) Building (“1008”)

- The DPW Building is underutilized. Its central location would make it a great gathering spot for the Village community. A request for proposals could identify a vendor who would run a café/coffee shop in a portion of the building.
- Ten to 15 years from now, Shorewood Hills could finance the reconstruction of the building by selling other property. A new municipal building could be built there, which would include a ~ three story building for all government functions.
- Parking at the 1008 property is limited.
- Idea: relocate DPW Building to Marshall Court.
- Mr. Mitmoen said space at the DPW Building is tight, though the new cold storage facility to be built on Old Middleton Road will help.
- Currently the required co-mingling of activities at the DPW Building is not safe.
- Possible to relocate all DPW activities to the proposed storage location on Old Middleton Road? Mr. Mitmoen replied that the site is not large enough to accommodate a building that would serve all of the DPW needs.
- Possible to renovate the DPW Building to provide more storage bays? Mr. Mitmoen said it would be possible to remodel the building so it was more usable.
- An alternative would be to tear down 1008 and construct a building that better meets the DPW’s needs. The new building could include the café/gathering space.
- The EMS and Fire Association does not need a permanent, dedicated space at the DPW Building. However, the Mac fire truck is stored in one of its bays.
- A reconstructed DPW Building may cost \$1-\$2 million.
- Any improvements to a building at 1008 would require careful consideration of its architecture; it would need to be compatible with the residential neighborhood.
- TIF could not be used to finance a municipal building.
- Idea: offer some space in the new building to be built at Old Middleton Road to Blackhawk Country Club in exchange for more property on the site. Then a larger DPW Building could be constructed there. Other Village departments could be relocated to 1008.
- Mr. Mitmoen said he would prefer to have all DPW functions in one place. He likes the current central location of the DPW Building—relocating to Old Middleton Road would make the Village less accessible for DPW activities.
- If a portion of 1008 were used as a community meeting spot, it would have to be staffed.
- Several years ago relocating the DPW Building to under Post Farm Park was considered. Under that plan, the building would have opened onto Marshall Court.
- Idea: sell 1008 for townhouses and a café.
- Look into what would be needed to make the present DPW Building a two to three story building with offices, a community space/café/library and a DPW facility.
- Renovation of the DPW Building would command a higher priority than the master plan for the Post Farm Park facilities.

Boathouse

- The inside of the Boathouse was upgraded with new paint and storage racks.
- The roof of the facility continues to require patching.
- Proposed improvements to the facility—new lights, roof, etc.,—could be done without spending a lot of money.

Heiden Haus

- The facility could be improved with updated doors, deck, bathroom. The latter is routinely vandalized.
- Resident Tracy Kozial said a group of residents is developing a master plan for Shorewood Hills Elementary School's south playground. Renovations to the Heiden Haus would be included in the plan. The proposed improvements would be funded largely through donations.

Marina Building

- Mr. Mitmoen said the building was recently painted; the roof is adequate; it serves its purpose as a storage facility.
- Chief Pine said vandalism is an issue at both the Marina Building and Boathouse. He will look into the cost of installing cameras there.

Four Corners Park

- The play structure needs to be replaced at a cost of \$30,000 - \$60,000.
- The bathrooms need to be updated.

Conclusions

- The Finance Committee will be asked to evaluate how much can be borrowed in the next few years. Future borrowing may require the revision of the Village's internal debt policy.
- Improvements to the DPW Building will take precedence over the Post Farm Park master plan. The latter will look at all the facilities in the Park.
- The Post Farm Park master plan will be developed with extensive citizen input.
- The Shorewood Hills League is interested in investing in cosmetic upgrades to the Community Center, including new floors, blinds, etc. These improvements will not be made if the building were slated for demolition.
- The Pool Committee and Shorewood Hills League could be told, at some point in the future, "The Village is willing to do X with the Community Center/Pool at \$X cost. The Pool's cost would be \$X; fund raising could provide \$X." Mr. Frantz will talk with the Shorewood Hills League and Pool Committee to get their thoughts.
- Fund raising for a portion of the Post Farm Park improvement costs is envisioned.
- An ad hoc committee could be formed to oversee the Post Farm Park master planning process. The plan may take a few years to develop, with community input.
- DPW functions will remain centered at 1008. Its staff will look at the department's space needs in a mixed use building there. This will include a two to three story portion for offices and a community meeting room/coffee shop. The building would also provide storage bays and work areas for the DPW. Its exterior will be compatible with the residential neighborhood.
- Proposals to relocate the DPW to another area—on Old Middleton Road or under Post Farm Park were rejected: the former because of the space's inefficiency and the latter because it would be politically impractical.

5. **Adjourn** Meeting adjourned at 8:57 p.m.

Respectfully submitted,

Colleen Boyle Albrecht, Village Clerk



Village of Shorewood Hills

Illustration of Hypothetical Refinancing ⁽¹⁾

Calendar Year	BEFORE REFINANCING				AFTER REFINANCING					POTENTIAL DEBT SERVICE SAVINGS	
	\$4,220,000 G.O. Corp Purpose Bonds (CR) Dated May 6, 2009				\$4,220,000 G.O. Corp Purpose Bonds (CR) Dated May 6, 2009		\$2,790,000 G.O. Promissory Notes (AR Portion) Dated May 1, 2017 ¹				TOTAL NEW DEBT SERVICE
	PRINCIPAL (5/1)	RATE	INTEREST (5/1 & 11/1)	TOTAL	PRINCIPAL (5/1)	INTEREST (5/1 & 11/1)	PRINCIPAL (5/1)	INTEREST (5/1 & 11/1)	TOTAL		
2017	\$110,000	3.250%	\$130,775	\$240,775	\$110,000	\$130,775				\$240,775	\$0
2018	\$255,000	3.500%	\$124,525	\$379,525	\$255,000	\$21,088		\$101,175	\$101,175	\$377,263	\$2,263
2019	\$475,000	3.500%	\$111,750	\$586,750	\$475,000	\$8,313	\$25,000	\$67,200	\$92,200	\$575,513	\$11,238
2020	\$505,000	3.500%	\$94,600	\$599,600	***		\$525,000	\$61,700	\$586,700	\$586,700	\$12,900
2021	\$520,000	3.650%	\$76,273	\$596,273	***		\$530,000	\$51,150	\$581,150	\$581,150	\$15,123
2022	\$545,000	3.750%	\$56,564	\$601,564	***		\$545,000	\$40,400	\$585,400	\$585,400	\$16,164
2023	\$570,000	3.850%	\$35,373	\$605,373	***		\$565,000	\$26,475	\$591,475	\$591,475	\$13,898
2024	\$610,000	4.000%	\$12,200	\$622,200	***		\$600,000	\$9,000	\$609,000	\$609,000	\$13,200
	\$3,590,000		\$642,059	\$4,232,059	\$840,000	\$160,175	\$2,790,000	\$357,100	\$3,147,100	\$4,147,275	\$84,784

Maturities callable 5/1/2019 or any date thereafter.

CALLABLE MATURITIES

*** REFINANCED WITH 2017 ISSUE.

ROUNDING AMOUNT.....	\$1,540
POTENTIAL GROSS SAVINGS.....	\$86,323

(1) This illustration represents a mathematical calculation of potential interest cost savings (cost), assuming hypothetical rates based on current rates +10bps for municipal bonds as of 1/13/17. Actual rates may vary. If actual rates are higher than those assumed, the interest cost savings would be lower. This illustration provides information and is not intended to be a recommendation, proposal or suggestion for a refinancing or otherwise to be considered as advice.

(2) POTENTIAL PRESENT VALUE SAVINGS \$.....	\$77,734
POTENTIAL PRESENT VALUE SAVINGS %.....	2.827%

POTENTIAL NEGATIVE ARBITRAGE \$.....	(\$32,515)
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(2) Present value calculated using the All Inclusive Cost (AIC) of 2.19% as the discount rate.

Interest Rate Sensitivity		
Change in Rates	Est. PV % Savings	Est. PV \$ Savings
-0.30%	4.352%	\$119,692
-0.20%	3.840%	\$105,612
-0.10%	3.333%	\$91,652
+0.10%	2.324%	\$63,903
+0.20%	1.823%	\$50,131
+0.30%	1.326%	\$36,451

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Village of Shorewood Hills
Open Market vs. State Trust Fund Loan



1.2M

		New Money Component			
		\$900,000			
		G.O. Promissory Notes			
		Dated May 1, 2017			
		(First interest 5/1/18)			
LEVY YEAR	YEAR DUE	PRINCIPAL (5/1)	INTEREST (5/1 & 11/1) AIC= 2.33%	LESS: BID PREMIUM	TOTAL
2016	2017				
2017	2018	\$55,000	\$33,875	(\$20,137)	\$68,738
2018	2019	\$85,000	\$21,000		\$106,000
2019	2020	\$85,000	\$19,300		\$104,300
2020	2021	\$90,000	\$17,550		\$107,550
2021	2022	\$90,000	\$15,750		\$105,750
2022	2023	\$90,000	\$13,500		\$103,500
2023	2024	\$100,000	\$10,650		\$110,650
2024	2025	\$100,000	\$7,650		\$107,650
2025	2026	\$100,000	\$4,650		\$104,650
2026	2027	\$105,000	\$1,575		\$106,575
		\$900,000	\$145,500	(\$20,137)	\$1,025,363

		\$900,000				
		State Trust Fund Loan				
		Dated May 1, 2017				
		(First interest 3/15/18)				
	YEAR DUE	PRINCIPAL (3/15)	INTEREST (3/15) AIC= 3.47%	TOTAL		YEAR DUE
	2017					2017
	2018	\$80,313	\$27,444	\$107,757		2018
	2019	\$79,068	\$28,689	\$107,757		2019
	2020	\$81,765	\$25,993	\$107,757		2020
	2021	\$84,697	\$23,060	\$107,757		2021
	2022	\$87,662	\$20,095	\$107,757		2022
	2023	\$90,730	\$17,027	\$107,757		2023
	2024	\$93,868	\$13,890	\$107,757		2024
	2025	\$97,191	\$10,566	\$107,757		2025
	2026	\$100,593	\$7,165	\$107,757		2026
	2027	\$104,113	\$3,644	\$107,757		2027
		\$900,000	\$177,573	\$1,077,573		

ESTIMATED SOURCES & USES	
<i>Sources of Funds:</i>	
Par Amount	\$900,000
Reoffering Premium	\$36,899
	<u>\$936,899</u>
<i>Uses of Funds:</i>	
Project Fund	\$900,000
Bond Counsel Fee (est.)	\$3,659
Rating Fee (est.)	\$2,805
OS Fee	\$1,220
Fiscal Agent Fee (est.)	\$79
Underwriter's Discount	\$9,000
Bid Premium Available for D/S	\$20,137
	<u>\$936,899</u>

ESTIMATED SOURCES & USES	
<i>Sources of Funds:</i>	
Par Amount	\$900,000
Reoffering Premium	\$0
	<u>\$900,000</u>
<i>Uses of Funds:</i>	
Project Fund	\$900,000
	<u>\$900,000</u>

Note: Planning estimates only. Significant changes in market conditions will require adjustments to current financing illustration.
If interest rates move higher, the interest cost will be higher.

Village of Shorewood Hills
Example Financing Illustration



LEVY YEAR	YEAR DUE	NET EXISTING DEBT (A)	New Money Component				\$2,000,000 G.O. Promissory Notes			\$1,500,000 G.O. Promissory Notes			LESS OFFSETTING REVENUES (B)	COMBINED DEBT SERVICE	COMBINED MILL RATE (C)	INCREASE (DECREASE) OVER PRIOR YEAR	YEAR DUE
			PRINCIPAL (5/1)	INTEREST (5/1 & 11/1) TIC= 2.17%	LESS: BID PREMIUM	TOTAL	PRINCIPAL (5/1)	INTEREST (5/1 & 11/1) TIC= 3.50%	TOTAL	PRINCIPAL (5/1)	INTEREST (5/1 & 11/1) TIC= 4.00%	TOTAL					
2016	2017	\$770,022											\$0	\$770,022	\$1.65		2017
2017	2018	\$801,995	\$55,000	\$33,875	(\$20,137)	\$68,738							(\$7,800)	\$862,933	\$1.81	\$0.16	2018
2018	2019	\$821,245	\$85,000	\$21,000		\$106,000							(\$25,000)	\$902,245	\$1.86	\$0.05	2019
2019	2020	\$840,615	\$85,000	\$19,300		\$104,300							(\$24,600)	\$920,315	\$1.86	\$0.00	2020
2020	2021	\$826,826	\$90,000	\$17,550		\$107,550	\$140,000	\$102,550	\$242,550				(\$24,200)	\$1,152,726	\$2.28	\$0.42	2021
2021	2022	\$838,185	\$90,000	\$15,750		\$105,750	\$180,000	\$61,950	\$241,950				(\$23,800)	\$1,162,085	\$2.26	(\$0.02)	2022
2022	2023	\$847,249	\$90,000	\$13,500		\$103,500	\$185,000	\$55,563	\$240,563	\$100,000	\$88,000	\$188,000	(\$23,300)	\$1,356,011	\$2.58	\$0.32	2023
2023	2024	\$854,049	\$100,000	\$10,650		\$110,650	\$190,000	\$49,000	\$239,000	\$130,000	\$53,400	\$183,400	(\$27,625)	\$1,359,474	\$2.54	(\$0.04)	2024
2024	2025	\$504,323	\$100,000	\$7,650		\$107,650	\$200,000	\$42,175	\$242,175	\$135,000	\$48,100	\$183,100	(\$26,875)	\$1,010,373	\$1.85	(\$0.69)	2025
2025	2026	\$188,909	\$100,000	\$4,650		\$104,650	\$205,000	\$35,088	\$240,088	\$145,000	\$42,500	\$187,500	(\$26,125)	\$695,021	\$1.25	(\$0.60)	2026
2026	2027	\$187,710	\$105,000	\$1,575		\$106,575	\$215,000	\$27,738	\$242,738	\$150,000	\$36,600	\$186,600	(\$25,375)	\$698,248	\$1.23	(\$0.02)	2027
2027	2028	\$122,030					\$220,000	\$20,125	\$240,125	\$155,000	\$30,500	\$185,500	\$0	\$547,655	\$0.94	(\$0.29)	2028
2028	2029	\$121,783					\$230,000	\$12,250	\$242,250	\$160,000	\$24,200	\$184,200	\$0	\$548,233	\$0.93	(\$0.01)	2029
2029	2030	\$121,147					\$235,000	\$4,113	\$239,113	\$170,000	\$17,600	\$187,600	\$0	\$547,859	\$0.91	(\$0.02)	2030
2030	2031	\$116,906								\$175,000	\$10,700	\$185,700	\$0	\$302,606	\$0.49	(\$0.42)	2031
2031	2032	\$116,128								\$180,000	\$3,600	\$183,600	\$0	\$299,728	\$0.48	(\$0.01)	2032
2032	2033	\$111,746											\$0	\$111,746	\$0.17	(\$0.31)	2033
		<u>\$8,190,867</u>	<u>\$900,000</u>	<u>\$145,500</u>	<u>(\$20,137)</u>	<u>\$1,025,363</u>	<u>\$2,000,000</u>	<u>\$410,550</u>	<u>\$2,410,550</u>	<u>\$1,500,000</u>	<u>\$355,200</u>	<u>\$1,855,200</u>	<u>(\$234,700)</u>	<u>\$13,247,280</u>			

(A) Assumes net of Build America Bonds subsidy, levy supported refunding savings from the 2009 Bonds, and \$275,000 of TIF debt from 2015 issue was used for levy supported CIP projects. Assumes amounts borrowed for TIF, Pool, Sewer, Water, Storm, and Marina are self supporting.
 (B) Assumes amounts borrowed for TIF projects are self supporting.
 (C) Mill Rate based on 2016 Assessed Valuation (TID OUT) of \$466,654,221 with 2.00% annual growth.

Note: Planning estimates only. Significant changes in market conditions will require adjustments to current financing illustration. If interest rates move higher, the interest cost will be higher.

Village of Shorewood Hills

Existing General Obligation Debt Service Payments

Calendar Year	TOTAL DEBT SERVICE			POOL PORTION				TIF #3 & 4 PORTION				WATER PORTION			
	PRINCIPAL	INTEREST	TOTAL	PRINCIPAL	INTEREST	BABs SUBSIDY	TOTAL	PRINCIPAL	INTEREST	BABs SUBSIDY	TOTAL	PRINCIPAL	INTEREST	BABs SUBSIDY	TOTAL
2017	\$1,415,000	\$493,233	\$1,908,233	\$110,000	\$5,777.50	(\$1,410)	\$114,367	\$424,695	\$166,399	(\$11,453)	\$579,641	\$149,058	\$55,358	(\$8,435)	\$195,981
2018	\$1,475,000	\$453,535	\$1,928,535	\$10,000	\$4,512.50	(\$1,350)	\$13,162	\$409,695	\$158,089	(\$10,942)	\$556,841	\$144,660	\$49,345	(\$8,075)	\$185,930
2019	\$1,395,000	\$413,048	\$1,808,048	\$10,000	\$4,222.50	(\$1,286)	\$12,936	\$404,695	\$147,718	(\$10,367)	\$542,046	\$86,728	\$45,473	(\$7,659)	\$124,542
2020	\$1,440,000	\$376,179	\$1,816,179	\$10,000	\$3,910.00	(\$1,219)	\$12,691	\$419,542	\$137,396	(\$9,762)	\$547,176	\$85,262	\$42,746	(\$7,189)	\$120,820
2021	\$1,460,000	\$341,281	\$1,801,281	\$10,000	\$3,578.75	(\$1,148)	\$12,431	\$434,542	\$126,625	(\$9,084)	\$552,083	\$83,796	\$40,209	(\$6,690)	\$117,316
2022	\$1,510,000	\$304,946	\$1,814,946	\$5,000	\$3,292.50	(\$1,073)	\$7,220	\$444,542	\$115,303	(\$8,334)	\$551,510	\$91,728	\$37,508	(\$6,165)	\$123,071
2023	\$1,570,000	\$263,151	\$1,833,151	\$5,000	\$3,052.50	(\$995)	\$7,058	\$454,540	\$103,220	(\$7,552)	\$550,208	\$104,058	\$34,176	(\$5,578)	\$132,656
2024	\$1,630,000	\$215,000	\$1,845,000	\$5,000	\$2,805.00	(\$914)	\$6,891	\$470,000	\$89,907	(\$6,705)	\$553,202	\$109,921	\$30,230	(\$4,933)	\$135,219
2025	\$1,180,000	\$170,448	\$1,350,448	\$5,000	\$2,552.50	(\$832)	\$6,721	\$439,889	\$76,129	(\$5,800)	\$510,217	\$76,649	\$26,600	(\$4,274)	\$98,975
2026	\$815,000	\$137,263	\$952,263	\$5,000	\$2,295.00	(\$803)	\$6,492	\$405,000	\$62,765	(\$5,239)	\$462,526	\$78,115	\$23,344	(\$3,870)	\$97,589
2027	\$840,000	\$109,020	\$949,020	\$10,000	\$1,900.00	(\$665)	\$11,235	\$415,000	\$49,130	(\$4,182)	\$459,948	\$84,581	\$19,809	(\$3,089)	\$101,301
2028	\$590,000	\$82,740	\$672,740	\$10,000	\$1,365.00	(\$478)	\$10,887	\$350,000	\$35,618	(\$3,058)	\$382,559	\$86,047	\$15,990	(\$2,246)	\$99,791
2029	\$615,000	\$58,285	\$673,285	\$10,000	\$822.50	(\$288)	\$10,535	\$365,000	\$22,074	(\$1,871)	\$385,203	\$87,513	\$11,980	(\$1,392)	\$98,102
2030	\$635,000	\$31,906	\$666,906	\$10,000	\$275.00	(\$96)	\$10,179	\$375,000	\$7,481	(\$626)	\$381,856	\$93,979	\$7,649	(\$481)	\$101,147
2031	\$150,000	\$15,400	\$165,400									\$43,979	\$4,515	\$0	\$48,494
2032	\$155,000	\$9,300	\$164,300									\$45,445	\$2,727	\$0	\$48,172
2033	\$155,000	\$3,100	\$158,100									\$45,445	\$909	\$0	\$46,354
Callable Maturities	\$17,030,000	\$3,477,834	\$20,507,834	\$215,000	\$40,361	(\$12,557)	\$242,804	\$5,812,140	\$1,297,852	(\$94,975)	\$7,015,016	\$1,496,964	\$448,569	(\$70,075)	\$1,875,458

Reduced by 6.9% in 2017-2025 (sequestration)

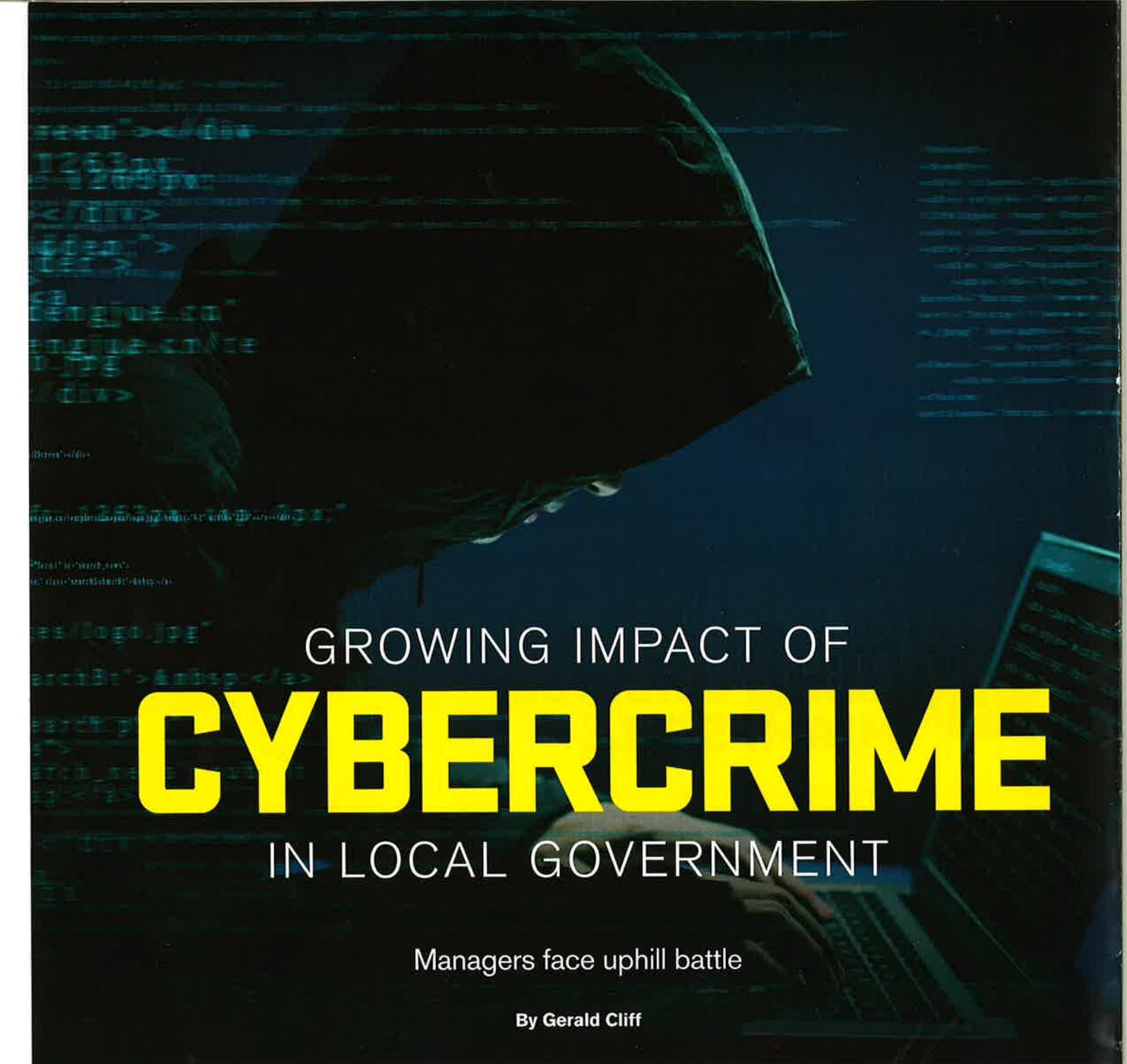
Village of Shorewood Hills

Existing General Obligation Debt Service Payments

Calendar Year	MARINA PORTION			SEWER PORTION				STORM WATER PORTION				Revenue Supported	General Fund	TOTAL	GENERAL FUND LEVY PORTION		
	PRINCIPAL	INTEREST	TOTAL	PRINCIPAL	INTEREST	BABs SUBSIDY	TOTAL	PRINCIPAL	INTEREST	BABs SUBSIDY	TOTAL	BABs SUBSIDY 35%	BABs SUBSIDY 35%	BABs SUBSIDY	PRINCIPAL	INTEREST	TOTAL
2017	\$5,000	\$225	\$5,225	\$80,000	\$20,625	(\$3,410)	\$97,215	\$85,000	\$27,212	(\$5,090)	\$107,122	\$29,797	\$8,493	\$38,291	\$561,247	\$209,143	\$770,390
2018	\$5,000	\$144	\$5,144	\$90,000	\$17,368	(\$3,259)	\$104,109	\$90,000	\$23,301	(\$4,850)	\$108,451	\$28,477	\$7,746	\$36,224	\$725,645	\$193,029	\$918,674
2019	\$5,000	\$50	\$5,050	\$50,000	\$15,148	(\$3,067)	\$62,081	\$60,000	\$20,810	(\$4,594)	\$76,216	\$26,974	\$6,979	\$33,953	\$778,577	\$172,648	\$951,225
2020	\$0	\$0	\$0	\$50,000	\$13,660	(\$2,865)	\$60,795	\$65,000	\$18,910	(\$4,326)	\$79,584	\$25,361	\$6,207	\$31,568	\$810,196	\$153,349	\$963,545
2021	\$0	\$0	\$0	\$50,000	\$12,267	(\$2,652)	\$59,615	\$65,000	\$17,135	(\$4,041)	\$78,094	\$23,614	\$5,423	\$29,036	\$816,662	\$136,044	\$952,706
2022	\$0	\$0	\$0	\$50,000	\$10,839	(\$2,427)	\$58,412	\$65,000	\$15,315	(\$3,741)	\$76,574	\$21,740	\$4,560	\$26,300	\$853,730	\$118,129	\$971,859
2023	\$0	\$0	\$0	\$60,000	\$9,150	(\$2,192)	\$66,958	\$70,000	\$13,158	(\$3,388)	\$79,769	\$19,705	\$3,662	\$23,367	\$876,402	\$96,733	\$973,135
2024	\$0	\$0	\$0	\$60,000	\$7,183	(\$1,950)	\$65,233	\$75,000	\$10,588	(\$2,985)	\$82,603	\$17,487	\$2,775	\$20,261	\$910,079	\$71,512	\$981,591
2025	\$0	\$0	\$0	\$37,917	\$5,514	(\$1,703)	\$41,728	\$35,000	\$8,503	(\$2,573)	\$40,929	\$15,183	\$1,163	\$16,346	\$585,545	\$49,987	\$635,532
2026	\$0	\$0	\$0	\$15,000	\$4,455	(\$1,559)	\$17,896	\$35,000	\$6,980	(\$2,314)	\$39,667	\$13,785	\$0	\$13,785	\$276,885	\$37,424	\$314,309
2027	\$0	\$0	\$0	\$15,000	\$3,668	(\$1,284)	\$17,384	\$35,000	\$5,423	(\$1,854)	\$38,568	\$11,073	\$0	\$11,073	\$280,419	\$29,091	\$309,510
2028	\$0	\$0	\$0	\$20,000	\$2,730	(\$956)	\$21,775	\$25,000	\$3,960	(\$1,386)	\$27,574	\$8,124	\$0	\$8,124	\$98,953	\$23,077	\$122,030
2029	\$0	\$0	\$0	\$20,000	\$1,645	(\$576)	\$21,069	\$30,000	\$2,468	(\$864)	\$31,604	\$4,990	\$0	\$4,990	\$102,487	\$19,296	\$121,783
2030	\$0	\$0	\$0	\$20,000	\$550	(\$193)	\$20,358	\$30,000	\$825	(\$289)	\$30,536	\$1,684	\$0	\$1,684	\$106,021	\$15,126	\$121,147
2031															\$106,021	\$10,885	\$116,906
2032															\$109,555	\$6,573	\$116,128
2033															\$109,555	\$2,191	\$111,746
Callable Maturities	\$15,000	\$419	\$15,419	\$617,917	\$124,802	(\$28,092)	\$714,627	\$765,000	\$174,585	(\$42,294)	\$897,292	\$247,993	\$47,008	\$295,002	\$8,107,979	\$1,344,237	\$9,452,216

Reduced by 6.9% 2017-2025 (sequestration)

	Capital Need	Year	Paid to Date	Est. Amt. Needed	Funding Source(s)	Suggested Committee Referral	Comments	Category	
1	Repair Overhang at Pool	2015	13,822	0	Capital Fund / Pool Fund	Pool	50/50 split \$27,644 between Pool Fund and Capital Fund. Was not initially included in 2015 borrowing. Original estimate \$12K.	Facilities	Completed
2	Pier at Marina, Moorings at Marina & McKenna Park	2015	28,800	0	Marina Program	Waterfront	Pay using fund balance. Reimbursed by Marina Program. Original estimate \$40K. Paid for from 2014 Marina fund balance.	Facilities	Completed
3	Replace Modine Heating Units at DPW Building	2015	5,070	0	Capital Fund	Services	Beyond serviceable life. Approved by Board on 1-20-15. Original estimate \$5,500.	Facilities	Completed
4	DPW Building Exterior Repairs	2015	20,801	0	Capital Fund	Services	Repairs to the building exterior including stucco and paint. Received bid for ~\$21K.	Facilities	Completed
5	Basement HVAC units at Village Hall	2015	15,797	0	Capital Fund	Services	Maintenance, expected life. One unit has failed. Estimate ~9,000 to replace. Can save money if all are replace, ~\$7,000 each.	Facilities	Completed
6	Tool Cat with stump grinder and other attachments	2015	60,439	0	Capital Fund	Services	2005 Forester truck #3 life could be extended 5-10 years (low mileage, good condition). Purchase Tool Cat to share between departments for work in the parks, planting trees, plowing in the winter. Avoid Forester using his personal vehicle. Avoid skid steer exceeding lease hours. Purchase would eliminate need to replace 4wd Snow Machine in 2020 (~\$50K). Purchased in April 2015. Original estimate \$60K.	Equipment	Purchased
7	squad car	2015	28,372	0	General Fund-Operating	Public Health & Safety	Two Year rotation of vehicles. Includes equipment. Purchased in April 2015. Original estimate \$28,500.	Equipment	Purchased
8	Road resurfacing of streets on west side of Village	2015	756,222	0	Capital Fund	Public Works	Mill and resurface streets. Original estimate \$800-926K.	Streets	Completed
	Subtotal 2015		929,323	0					
9	Line Lake Mendota Sanitary Sewer	2016	168,000	0	Capital Fund/ Sewer Fund	Public Works	Subject to root problems, difficult to maintain, costly to replace. Bids received and approved for work, projected cost = \$193,080.	Facilities	Completed
10	Update accounting software	2016	13,000	0	Capital Fund/ All Funds-Operating	Board	Share amongst all department, utilities, pool. Streamline office operations including utility billing, accounts payable and customer access to bills. Total \$39K paid over 3 years.	Equipment	Paid
11	Pave Blackhawk CC parking lot	2016	141,477	0	Capital Fund	Public Works	BCC to repay over life of 2015 borrowing. Original estimate \$180K.	Streets	Completed
12	Road resurfacing of streets on west side of Village	2016	278,816	0	Capital Fund	Public Works	Mill and resurface streets remaining streets on west side of Village. Grant for Oxford Road ~\$42K.	Streets	Completed
13	University Bay Drive/University Avenue improvements	2016	394,110	0	Capital Fund	Board	TID 3 - Widen the southbound lane and bike path south of 700 UBD	TID	TID 3 Completed
	Subtotal 2016		995,403	0					
14	Phone system	2017	0	20,000	Capital Fund/ All Funds-Operating	Board	Share amongst all departments. The present phone system is problematic. Yet to determine upgrade vs. new and hosted vs. in-house.	Equipment	Not in current plan
15	Playground equipment at Post Farm Park & 4 Corners Park	2017	0	0	Donations	Recreation/ Parks	Cost of new equipment to be offset or paid for entirely by fundraising. Address safety of some of the playground equipment. Est. cost \$30K.	Facilities	
16	4 Corners bathroom & shelter improvements	2017	0	20,000	Donations/Capital Fund	Services	The improvements would need to bring the building into compliance with ADA requirements: Expand bathroom, ramp to shelter deck. Could be partially or totally funded by donation.	Facilities	Not in current plan
17	Cold storage building	2017	0	653,760	Capital Fund	Services/ Board	Reason: Scheduled loss of Degen building prior to 2018. Amount is for construction of ~60' x100' building for storage of DPW, Police and Fire/EMS Association equipment (Cost Est \$624K+Site Prep).	Facilities	
18	Update accounting software	2017	0	13,000	Capital Fund/ All Funds-Operating	Board	Share amongst all department, utilities, pool. Total \$39K paid over 3 years. Payment 2 of 3.	Equipment	
19	Chipper	2017	0	41,385	Capital Fund	Services	Replaces 2007 model, worth ~\$5,000.	Equipment	
20	squad car	2017	0	29,500	General Fund-Operating	Public Health & Safety	Two Year rotation of vehicles. Includes equipment.	Equipment	Ordered
21	Locust Drive, bike path at Maple Terrace	2017	0	220,000	Capital Fund	Board	TID 4 - Improvement to bike path intersections with Locust Drive and Maple Terrace. Est. \$100-200K.	TID	TID 4
	Subtotal 2017		0	997,645					
22	Update accounting software	2018	0	13,000	Capital Fund/ All Funds-Operating	Board	Share amongst all department, utilities, pool. Total \$39K paid over 3 years. Payment 3 of 3.	Equipment	
23	McKenna Park Beach House roof repairs and railing replacement	2018	0	15,000	Marina Program/ Capital Fund	Waterfront/ Services	Pay using fund balance. Reimbursed by Marina program. On hold pending Waterfront Committee decision. Metal railing was shored up in 2015. Still needs to be replace for ~\$5,000.	Facilities	
24	DPW Building Interior Repairs	2018	0	25,000	Capital Fund	Services	Repairs to the building interior including conversion of the former Intern quarters and dayroom to meeting or office space. Includes repurposing offices and storage space for DPW office, Forester office and historic file storage.	Facilities	
25	Repair Roof at Community Center	2018	0	50,000	Capital Fund/ Pool Fund/General Fund-Operating	Services/ Pool	Portion of expense to be shared by Pool (50/50). Minor repairs completed in 2015, major repairs should be done in 2-3 years.	Facilities	
26	Demolition of Scout Shack build park pavillion	2018	0	0	Donations	Parks/ Recreation	If cold storage built, fireworks equipment stored in Scout Shack could be relocated. Demolish building in favor of a simple park pavillion. Est. cost \$50K.	Facilities	
27	Leaf picker	2018	0	40,000	Capital Fund	Services	Replaces 1999 model, worth ~\$1,000.	Equipment	
28	Completion of bike path south of Marshall Court	2018	0	311,000	Capital Fund	Board	TID 3 - University Station to University Bay Drive. Portion of work may be done in 2017. Partially reimbursed by PARC grant.	TID	TID 3
29	Marshall Court: Street & Utility Improvements	2018	0	850,000	Capital Fund	Board	TID 3 - Extend water and sewer from Arbor Crossing west to railroad tracks. Improve streetscape, road, etc. with utilities.	TID	TID 3
	Subtotal 2018		0	1,304,000					
30	Roof top air handling unit at Village Hall	2019	0	20,000	Capital Fund	Services	Maintenance, expected life on units installed in 1997.	Facilities	
31	Squad car	2019	0	30,500	General Fund-Operating	Public Health & Safety	Two Year rotation of vehicles. Includes equipment.	Equipment	
32	Mid-sized plow	2019	0	55,000	Capital Fund	Services	Replaces 2008 model, worth ~\$4,000.	Equipment	
	Subtotal 2019		0	105,500					
33	Boiler at Community Center	2020	0	100,000	Capital Fund/ Pool Fund	Services/ Pool	Installed in 1996. Expense to be shared 25/75: Village/Pool.	Facilities	
34	Restain/paint Village Hall	2020	0	15,000	General Fund-Operating	Services	Maintenance.	Facilities	
35	Tallyho booster station - replace pump (1 of 3), repaint	2020	0	25,000	Water Utility	Public Works	Paid for by water utility. The two other pumps have been repaired or replaced in recent years (Est. 25 year life)	Facilities	
36	Bobcat all terrain vehicle	2020	0	18,000	Capital Fund	Services	Replaces 2008 model, worth ~\$1,000.	Equipment	
37	Toro 4wd snow machine	2020	0	49,500	Capital Fund	Services	Replaces 2008 model, worth ~\$10,000.	Equipment	
45	Community Center/Pool	2020	0	2,000,000	Capital Fund/Pool Fund/General Fund-Operating	Pool	Reason: Becoming obsolete. Limited accessibility. Locker room/showers renovation. (Est. range \$0.5-2.0M)	Facilities	
	Subtotal 2020		0	2,207,500					
38	Full-size dump truck	2021	0	105,000	Capital Fund	Services	Replaces 2001 model. Becomes full-time leaf truck.	Equipment	
39	Toro zero-turn mower	2021	0	19,000	Capital Fund	Services	Replaces 2012 model, worth ~\$3,000.	Equipment	
	Subtotal 2021		0	124,000					
40	Forester's Truck	2022	0	45,000	Capital Fund	Services	Replaces 2008 Truck #3	Equipment	
41	Sewer Jeter w/TV Camera	2022	0	124,000	Capital Fund	Services	Replaces 2010 Sewer Jeter	Equipment	
42	Street Sweeper	2022	0	200,000	Capital Fund	Services	Replaces 2007 Elgin Street Sweeper	Equipment	
43	Widening East Side of Univ. Bay Drive	2022	0	850,000	Capital Fund	Board	TID 3 r 6 - Work to be in conjunction with redesign of University Avenue / UBD bike overpass project	TID	TID 3 or 6
44	Univ. Ave Reconstruction (Shorewood to Campus Dr)	2022	0	2,500,000	Capital Fund	Board	Est. range \$2-3M. Village to incur design costs up to ~\$500K beginning in 2017.	TID	TID 3 or 6
46	DPW Building	2022	0	2,000,000	Capital Fund	Services	Reason: Building underutilized, garages overcrowded, operational deficiencies. (Est. range \$0.5-2.0M).	Facilities	TID 3 or 6
	Subtotal 2022		0	5,719,000					
	COLUMN TOTALS		1,924,726	10,457,645					



GROWING IMPACT OF **CYBERCRIME** IN LOCAL GOVERNMENT

Managers face uphill battle

By Gerald Cliff

A direct result of the ever-increasing reliance on technology and the Internet is that governments at all levels are rapidly becoming dependent on these technologies for provision of essential services. The downside to this reliance is that it magnifies the risk of cyberintrusions and data breaches.

These breaches can result in the compromise of personally identifiable information (PII) of every resident whose name, date of birth, and Social Security number reside on a local government server. Governmental entities also maintain records of personal health information (PHI) pertaining to their employees that, if compromised, could expose employees to serious problems.

Data breaches from phishing, hacking, and insider threat are on the increase and causing considerable damage in terms of costs to seal the breach and address the potential damage to those whose PII has been compromised. Here are examples:

- In April 2015, the Florida Department of Children and Family Services

(DCF) suffered a data breach when a state employee used the employee's employment-related access to obtain the personal information of thousands of Floridians.

According to the Department of Economic Opportunity (DEO), one of its employees managed to access the Florida Department of Children and Families' Florida ACCESS system. He then obtained the names and Social Security numbers of more than 200,000 people in the DCF system. In March 2015, the DEO employee was arrested and charged with alleged trafficking and unauthorized use of PII.

- In May 2016, more than 100 Los Angeles County employees fell prey to a phishing scam, revealing user names and passwords that were then used to disclose personal information of approximately 756,000 individuals who had done business with county departments.

The *2016 IBM Cost of Data Breach Report* finds the average consolidated total cost of a data breach grew from \$3.8 million to \$4 million. The study also reports that the average cost incurred for each lost or stolen record containing sensitive and confidential information increased from \$154 to \$158 per record.

Ransomware on the Rise

Crypto-ransomware attacks—software that encrypts a victim's data and then offers to sell the victim the decryption key—are on the rise and have already crippled hospitals, police departments, educational systems, critical municipal infrastructure, and other vital cornerstones of the public sector. Examples include:

- An April 2016 ransomware attack against the Lansing Michigan Board of Water and Light crippled the agency's ability to communicate internally and with its customers, and ultimately cost the city-owned utility about \$2 million for technical support and equipment to upgrade its security.

- In June 2016, a police department in Collinsville, Alabama, refused to pay the ransom and lost access to a database of mugshots.
- The Cockrell Hill, Texas, police department was attacked in December 2016. The department thought that it could restore files; however, the files were not properly backed up and the department lost eight years' worth of digital evidence, including some documents, spreadsheets, video from body-worn and in-car cameras, photos, and surveillance video.
- In February 2017, the Roxana, Illinois, Police Department fell victim to a ransomware attack. Although the department refused to pay the ransom, the incident still cost the city considerable time and money. Rather than pay the ransom, the department was forced to "wipe the system." The department had backups of all important information, though restoring those backups in a usable manner is requiring significant manpower.

In a 2016 whitepaper on the topic of ransomware, the Osterman Research Corporation stated "both phishing and crypto ransomware are increasing at the rate of several hundred percent per quarter, a trend that it is believed will continue for at least the next 18 to 24 months."

The report went on to point out the "FBI estimates that ransomware alone cost organizations \$209 million in just the first three months of 2016."

According to U.S. Federal Bureau of Investigation Director James Comey, "Cybercrime is becoming everything in crime. Again, because people have connected their entire lives to the Internet, that's where those who want to steal money or hurt kids or defraud go."

Various foreign entities, such as China, Russia, and North Korea, are known to be engaged in hacking activities. But there are also literally millions of individuals who operate on their own by purchasing hacking tools on the dark Web.

According to the *2015 Trustwave Global Security Report*, attackers receive

an estimated 1,425 percent return on investment (\$84,100 net revenue for each \$5,900 investment in software and tools). Cybercrime is becoming easier and safer to commit thanks to the relative anonymity of the Internet and the availability of hacking tools for purchase, also referred to as "malware as a service" schemes.

This means that literally anyone with a computer and Internet access can become a hacker, as programming and networking skills are no longer a requirement.

Legal Liability

The immediate damages caused by a breach are just the tip of the iceberg. A class-action lawsuit from residents whose credit card information was exposed through a local government's online fee payment system will hurt, but relatively few of them will have suffered direct, unreimbursed losses. Their losses were generally absorbed by their banks and insurance companies.

What do you tell the voters who's PII and PHI is exposed to identity thieves through the actions (or inaction) of their state or local government? How do you deal with the loss of public trust that accompanies this type of event?

As the holder of that confidential information, there comes a level of responsibility to take proper precautions to protect it. Breach that responsibility and there may be consequences.

TAKEAWAYS

› A significant portion of the cybersecurity problem is not technology related and as a result, dependence on the IT manager alone to address cybersecurity will still result in breaches.

› Addressing the cybersecurity problem will require a multifaceted approach, including the IT supervisor but also is dependent on other management positions within a local government.

Think of how the information your organization collects and processes could be used to commit a crime:

- PII could be used to commit identity theft.
- Personal information on children, witnesses, informants, victims of crimes, and other vulnerable populations could be used to violate their privacy or facilitate crimes against them.
- Information on regulated business could be used by business rivals.
- Information on government bidding, contracting, or economic development plans could be used to competitive advantage.
- Information dealing with active investigations (civil, criminal, or administrative) could be used to compromise those investigations.
- Personal information on government employees could be used to exact revenge for unpopular decisions or actions.

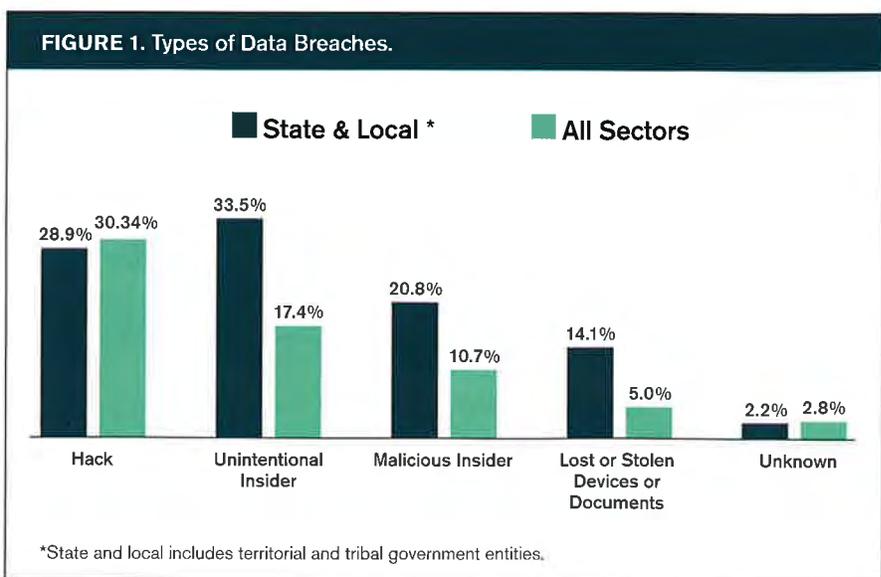
Insurance Loopholes

A governmental insurance policy can provide protection; however, in the face of the extreme costs of a breach, insurance companies may find ways to decline coverage.

If the insurance policy doesn't specifically provide coverage for data breach-related damage, or if the insured agency fails to adhere to the details specified by the insurer pertaining to security measures, the insurer is likely to refuse payment.

Insurance companies may agree to cover a governmental entity for losses caused by cyberintrusions and data breaches, but there will be requirements that must be met by the insured. Where a claim is submitted, an investigation will ensue, and where security requirements have not been met, a claim will likely be denied.

In what appears to be a landmark case, Cottage Health System of California suffered a data breach in which 30,000 records containing PII were exposed in a cyber incident. A class action suit in



2014, filed on behalf of the affected clients, resulted in a \$4.125 million award against the health system, in state court.

Although Cottage Health had a cyberinsurance policy with Columbia Casualty, the insurer pointed out that the insured stored the confidential information on an Internet accessible system, but failed to install encryption or other safeguards. The insurer denied the claim. Imagine if your locality were suddenly confronted with that kind of financial loss.

To effectively mitigate the dangers involved in data breach and cyberintrusion, it is important to understand as much as possible about these types of attacks. In an effort to better understand the impact these crimes are having on state, local, territorial, and tribal government, the National White Collar Crime Center (NW3C) has for several years assembled a data set of incidents using publicly available data from a wide range of sources.

Analyzing the Data

As of January 1, 2017, NW3C's data set of state and local governmental entities reporting data breaches totaled slightly more than 1,900 incidents. The organization's analysis of this information points to some important differences between the public and private sectors.

Recall that a data breach does not require a cyberintrusion; it can involve the exposure of confidential information

through lost paper files, improperly disposed of electronic devices with digital memory, even intentional theft.

A cyberintrusion also may not necessarily involve a data breach. Technically, hacktivism—where a hacker illegally accesses a computer network for the purpose of defacing or otherwise interfering with that network—is a cyberintrusion but does not involve the breach of confidential PII and PHI.

When examined across all sectors, the data breaches resulting from cyberintrusions or hacking within the past 10 years account for less than 30 percent of the more than 5,000 data breaches reported by the Privacy Rights Clearinghouse. This includes not only the public sector but also retail, education, and health sectors.

Analysis of the state/local-specific data that NW3C compiled showed the percentage of government cyber incidents involving hacking differs somewhat from that of the combined sectors of retail, education, healthcare, and nonprofits. What stands out most in our analysis is that insiders in government-related data breaches played a far greater role (see Figure 1).

Analysis of the cases in NW3C's dataset indicates the government sector shows a 48.05 percent greater propensity (difference between 17.4 percent and 33.5 percent) to suffer from

unintentional insider breaches and a 48.55 percent greater propensity to suffer from malicious insider breaches, while the probability of suffering a data breach through lost or stolen devices is 64.53 percent less in the government sector.

The insider seems to play a noticeably greater role in data breaches in government than in the other sectors commonly tracked. Regardless of why public employees appear more prone to causing data breaches, the importance of our findings is that it facilitates identification of potential solutions that can potentially help reduce the incidents of data breach.

Reducing Risk

Due to space limitations and the extensive list of remedial actions available that could mitigate incidents of data breach and cyberintrusion, a comprehensive program is far too much to address in the space allotted for this article. We can, however, outline several basic steps, which can serve as the starting point for a comprehensive program that could reasonably be expected to result in reducing

CYBERCRIME INCIDENT

Mille Lacs County, Minnesota, and staff member Mikki Jo Peterick were forced to jointly pay \$1 million to people whose Minnesota driver's license records were impermissibly accessed by Peterick when she worked as a child support investigator for the Mille Lacs' Department of Family Services. No allegations were made of the use to which such information might have been put.

—Settlement Agreement, *Candace Gulsvig et al v. Mikki Jo Peteric et al.*, US District Court for the District of Minnesota, Civil File No. 13-cv-1309 (JRT/LIB)
https://www.knowyourrights.com/SiebenCarey/media/News_PDF/Settlement-Agreement.pdf

an agency's exposure to risk.

There is an array of technical tools that an IT coordinator can choose from to help ensure network security; however, in addition to those tools, a manager should consider the personnel-related aspects of security. Here are some basic steps.

1 Establish detailed and thorough policies pertaining to Internet use. Encrypt e-mails and other content containing sensitive or confidential data. Enforce rules regarding access to personal social media accounts in the course of the workday. Direct the IT coordinator to be responsible for the monitoring of all communications for malware. Control the use of personally owned devices that are able to access corporate resources.

2 Implement best practices for user behavior. Employees must select passwords that match the sensitivity and risk associated with their data assets. Employee passwords not only must meet certain criteria pertaining to strength, but also must be changed on a regular basis.

IT departments should be required to keep software and operating systems up-to-date to minimize malware problems. Employees should receive thorough training about phishing and other security risks, and they should be tested periodically to determine if their anti-phishing training has been effective.

Employees whose duties involve off-site Internet access, should be trained in best practices when connecting remotely, including the dangers of public Wi-Fi hotspots.

3 Maintain a timely and complete backup of your critical systems.

4 Regularly practice restoring your system from those backups. It is important to be aware that there are strains of ransomware that can be programmed to activate on a time delay, so backups may end up including the latent ransomware program. A careful

manager needs to be aware that backups alone may not be effective unless they have been thoroughly checked and determined to be safe.

5 The Intelligence National Security Alliance (INSA 2013) practice recommends that a risk-reduction program include an insider threat component that encompasses, at a minimum:

- Organization-wide participation.
- Oversight of program compliance and effectiveness.
- Confidential reporting mechanisms and procedures to report insider events.
- An insider threat incident-response plan.
- Communication of insider threat events.
- Protection of employees' civil liberties and rights.
- Policies, procedures, and practices that support the insider threat program.
- Data collection and analysis techniques and practices.
- Insider threat training and awareness.
- Prevention, detection, and response infrastructure.
- Insider threat practices related to trusted business partners.
- Inside threat integration with enterprise risk management.

For more information on the question of legal liability and what you can do to limit your exposure to the threat of cybercrime, see the NW3C white paper *Cyberintrusions and Data Breaches* that can be found at <http://www.nw3c.org/research>. **PM**



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Editor's Note: Links to websites listed in this article will be live on PM's website at icma.org/pm on May 27, 2017. Results from ICMA's 2016 cybersecurity survey are available at www.icma.org/cybersecurity2016surveyresults.

MINUTES FOR THE VILLAGE OF SHOREWOOD HILLS
PLAN COMMISSION

The Tuesday June 13, 2017 meeting of the Plan Commission was called to order at 7:00p.m. by David Benforado. On call of the roll members present were: Karl Wellensiek, Jim Etmanczyk, Brauna Hartzell, Earl Munson, John Imes and Debra Remington. Also present was Karl Frantz, Village Administrator and Karla Endres, Deputy Clerk.

Called to order – 7:01 pm

Approve previous meeting minutes

Deferred minutes until later

Public Hearing on conditional use

Opened public hearing at 7:02 pm

Bridget from Architectural Building Arts explained the proposed project. The property owners would like to increase the safety of the property by widening the driveway as well as construct steps from the street to the house for a safe visitor access and a storage building.

Mr. Munson asked if Architectural Building Arts has done any landscape projects in the Village. He also inquired what the storage area would be used for.

Bridget explained that the storage would be a case by case basis depending on each particular location. Another factor in the storage plan would depend on what the hardship of the lot would be as well as aesthetics.

Mr. Frantz explained the zoning code with respect to accessory structures in the front yard. He explained there are height and square footage restrictions in the zoning code with respect to a structure.

Bridget spoke to the homeowners and stated that they have not directly spoke with the neighbors but have not heard anything negative back with respect to the mailing sent out by the Village. Bridget stated the grade of the pavement would stay the same and no major changes would take place due to drainage concerns.

Mr. Benforado asked about the stormwater management.

Bridget stated they would be adding to the current retention system and they would be adding another basin in the driveway. This particular property has already improved the stormwater drainage from the prior renovations to the property but will be adding to it with the driveway project.

Closed the public hearing at 7:26 pm

Mr. Munson stated he is opposed to storage units in the front yard in general due to the aesthetic appeal and image it gives the village. He also disagrees with the need of a storage unit.

Bridget stated the safety is the main concern of the homeowners.

Mrs. Remington asked if they could change this to a garage instead of a storage shed.

Mr. Frantz stated they would need a conditional use permit with a detached garage. It would be the same process as this storage shed requires.

Mr. Munson suggested they expand the house and garage to mitigate the issue.

Bridget explained that would be a possibility but a greater financial hardship for the client.

Mrs. Hartzell asked what the conditions would be if they were to put the shed on the lake side.

Mr. Benforado stated he does not want a storage unit on the front side of many homes or any homes. In this particular case, he is ok with it and thinks it is nicely done. He likes the safety features of the steps but would like to see the pervious surface of this space improved.

Mr. Frantz stated this property is in compliance with the stormwater retainage. They have complied with the stormwater management plan with a couple previous projects.

Mr. Wellensiek moved and Mr. Munson seconded board approval of the Rhode Nevelle project with renewal of the driveway and sidewalks.

Mr Benforado moved the amendment of approval of the storage unit to be included in the first motion.

Mr. Imes stated he would second the motion for discussion because he is hearing enough concern from commission members.

Voted: 0-7

Amendment to the motion fails

Bridget asked where the client would be able to put the storage shed if it were not allowed in the front yard.

Mr. Frantz stated in the backyard there would be issues with the lake set back line.

Voting on the original motion to recommend village board approval of the Rhode Nevelle project with renewal of the driveway and sidewalks.

Voted: 7-0

Passed unanimously.

Mr. Munson stated the commission should talk about permeable surface by the lake for future projects such as this.

Approval of Minutes

Mr. Etmanczyk moved and Mrs. Hartzell seconded a motion to approve the March 14 meeting minutes.

Voted: 7-0

Passed unanimously

Zoning code updates

Mr. Frantz stated he and Mr. Benforado discussed cleaning up portions of the zoning code by taking on portions that are unclear.

Mr. Imes asked if there were problems on the commercial or residential side.

Mr. Frantz stated it happens periodically in sections that could be clarified and made easier for everyone. Two areas where there is the most questioning is the fence code and the sign code.

Discussion and any recommendations concerning

Joint west recommended their approval of the UW Master Plan to the City of Madison's Plan Commission. UW Master Plan will go to the Plan Commission in June and then to the City Council for approval.

Mr. Imes stated the UW has done a good job on including the village and creating a good master plan. The Village also has a good relationship with the UW established now.

Mr. Frantz stated the WIMR wedge has been approved to construct two additional stories.

Adjourn

The meeting was adjourned at 8:37 pm

Respectfully Submitted,

Karla Endres
Deputy Clerk